



CITY OF
BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

BHPC MEETING PACKET

Thursday April 10, 2025

5:00 p.m. EST

Prepared by HAND Staff

In Person: The McCloskey Room, 401 N Morton St., Ste. 135, Bloomington, IN 47404

Zoom:

<https://bloomington.zoom.us/j/84269673454?pwd=dupS9LsxFZck6JsGNk3Yh6CNCCv6LS.1>

[Meeting ID: 842 6967 3454](#)

[Passcode: 711912](#)

Table of Contents

AGENDA	4
MINUTES March 27	6
COA 25-18.....	14
COA 24-19.....	22
COA 25-15.....	34
COA 25-16.....	48
COA 25-17.....	68
COA 25-20.....	79
COA 25-21.....	91
COA 25-22.....	100
DD 25-06.....	116

Accessibility Statement

The City is committed to providing equal access to information. However, despite our efforts, at times, portions of our board and commission packets are not accessible for some individuals.

If you encounter difficulties accessing material in this packet, please contact Anna Killion-Hanson at the Housing and Neighborhood Development Department at anna.killionhanson@bloomington.in.gov or 813-349-3582 and provide your name, contact information, and a link to or description of the document or web page you are having problems with.

Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or email, human.rights@bloomington.in.gov.

Procedure for Certificates of Appropriateness and Demolition Delays

For each item the Historic Preservation Program Manager will first present a staff report. We will then hear if the Petitioner has any additional information, followed by a round of questions from each Commissioner. We ask that petitioners, the public, and Commissioners refrain from speaking until addressed by the Chair, unless a question is directly addressed to them. If a member of the public or a petitioner wishes to comment, please raise your hand until recognized by the Chair. Once a motion is made we will then open up a discussion of the item for Members of the Commission. We encourage all Commissioners, Petitioners, and members of the public to be civil and respectful at all times.

Bloomington Historic Preservation Commission Meeting

Thursday April 10th, 2025, 5:00 P.M.

In Person:

The McCloskey Room, 401 N Morton St., Ste. 135, Bloomington, IN 47404

Zoom: [Housing & Neighborhood Development is inviting you to a scheduled Zoom meeting.](#)

[Join Zoom Meeting](#)

<https://bloomington.zoom.us/j/84269673454?pwd=dupS9LsxFZck6JsGNk3Yh6CNCCv6LS.1>

Meeting ID: 842 6967 3454

Passcode: 711912

AGENDA

The City is committed to providing equal access to information. However, despite our efforts, at times, portions of our board and commission packets are not accessible for some individuals. If you encounter difficulties accessing material in this packet, please contact Anna Killion-Hanson at the Housing and Neighborhood Development Department at anna.killionhanson@bloomington.in.gov or 812-349-3577 and provide your name, contact information, and a link to or description of the document or web page you are having problems with. Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or email human.rights@bloomington.in.gov.

- I. **CALL TO ORDER**
- II. **ROLL CALL**
- III. **APPROVAL OF MINUTES**
 - A. March 27th
- IV. **CERTIFICATES OF APPROPRIATENESS**

Staff Review

A. COA 25-18

515 S Hawthorne Dr (Elm Heights HD)

Kathleen Bethell

Tree removal

B. COA 25-19

523 W 7th St (Near West Side HD)

Jay Kincaid

Front picket fence, rear privacy fence, and solar panels

Commission Review

C. COA 25-15

1104 N Grant St (Garden Hill HD)

Tyler Martin
New construction

D. COA 25-16

1101 N Lincoln St (Garden Hill HD)

Sherri Hillenburg

New construction at site of non-contributing house

E. COA 25-17

807 W 8th St (Near West Side HD)

Stephanie Downey

Replacement of metal porch posts with turned wood posts, replacement of vertical siding with horizontal cement board clapboard, replacement of unoriginal windows with new size

F. COA 25-20

324 S Rogers St (Garden Hill HD)

Jamie Galvan

Replacement of aluminum siding with matching LP siding, repair of damaged chimney, construct balcony on north gable, replacement of windows and doors with matching configuration

G. COA 25-21

702 W Kirkwood Ave (Near West Side HD)

Simon Ladd

Replacement windows with different pane configuration

H. COA 25-22

510 W Allen St (McDoel HD)

Karen E. Ellis

Second story addition on rear garage

V. DEMOLITION DELAY

A. DD 25-06

720 S High St (Outbuilding)

Leo Pilachowski

VI. OLD BUSINESS

VII. NEW BUSINESS

A. Historic District Subcommittee recap

VIII. COMMISSIONER COMMENTS

IX. PUBLIC COMMENTS

X. ADJOURNMENT

Next meeting date is April 24th, 2025 at 5:00 P.M. and will be held in a hybrid manner, both in person and via Zoom.

Bloomington Historic Preservation Commission Meeting Minutes - March 27, 2025

CALL TO ORDER

The meeting was called to order by Commission Chair **Sam DeSollar** at 5:00 p.m.

ROLL CALL - Parties in Attendance are listed below:

Commissioners:

Jack Baker
Duncan Campbell, Advisory
Ernesto Castaneda
Reynard Cross
Sam DeSollar
Melody Deusner
Karen Duffy, Advisory
Jeremy Hackerd

Staff:

Noah Sandweiss, HPC Program Manager
Margie Rice, Corporation Counsel
Anna Killion-Hanson, HAND Director
Tonda Radewan, HAND Staff Liaison

Guests/Public:

Neal Heidler, for Petitioner Joseph Heidler
Phil Worthington - Garden Hill Neighborhood District
Kerry Slough - Garden Hill Neighborhood District
Tyler Martin - Petitioner
Ernest Xi, for Petitioner Tyler Martin
Brandon Sturgis, for Petitioner Apex Home Services
Chris Sturbaum - Public (Virtual)
Xavier Grey - Public (Virtual)
Chanhyuk Lee - Public (Virtual)

APPROVAL OF MINUTES

Ernesto Castenada made a **Motion to Approve** the minutes from the **March 13, 2025** meeting. **Jeremy Hackerd** seconded. **Motion carried 5-0-0** (Yes-No-Abstain)

Commission Vice-Chair **Jeremy Hackerd** read the Procedural Statement for Certificates of Appropriateness and Demolition Delays. *Please see Meeting Packet for details.*

CERTIFICATES OF APPROPRIATENESS (COA)

Staff Review

COA 25-13

1122 S Rogers St (McDoel Gardens HD)

Petitioner: Joseph W. Heidler

Solar panel installation on roof and garage

Noah Sandweiss gave the staff presentation on the Petitioner's request noting that **Staff approves COA 25-13** and that comments from the McDoel Gardens Design Review Committee recommend approval of the plan which is similar to other installations nearby in the district. *Please see Meeting Packet for details.*

Neal Heidler, for Petitioner Joseph Heidler, was present to answer questions.

Staff Review

COA 25-14

1100 E 2nd St (Elm Heights HD)

Petitioner: Apex Home Services

Installation of exterior range hood

Noah Sandweiss gave the staff presentation on the Petitioner's request noting that **Staff approves COA 25-14** and that the Elm Heights Design Review Committee has not offered any objections to the proposal. *Please see Meeting Packet for details.*

Brandon Sturgis, for Petitioner Apex Home Services, joined the meeting virtually after this COA had concluded, noting internet connection issues.

Commission Review

COA 25-15

1104 N Grant St (Garden Hill HD)

Petitioner: Tyler Martin

New construction

Noah Sandweiss gave his presentation on the Petitioner's request for construction of a new two story house noting that on 11/14/24 the HPC approved the demolition of a non contributing building at this location, that the owner's petition for a new build submitted for the 12/12/24 HPC meeting was withdrawn when it did not receive a recommendation and since that time the owner has been communicating with the District Design Review Committee to come up with a new design to meet district guidelines.

Sandweiss reported that **Staff recommends approval of COA 25-15**

Please see Meeting Packet for details.

Sandweiss added that he received a neighborhood comment on the new design that was resubmitted which said that something is missing on the west side but the front of the house looks good, the meeting with the Petitioner went well and the Petitioner said he would replace the three trees. The commenter wished the proposal would be more specific about the west side facing Grant St, as it looks plain, but it is a lot better than it looked before, so no real complaints are present.

Petitioner Tyler Martin was present and added that the new plan was cut by 40% in length and adjustments have been made to the roofline and front porch based on the feedback received. He said it was a good meeting with the neighborhood and is trying to acquiesce with every step. The Petitioner added that the plan in the packet is a rough draft and the windows won't be black.

Commissioner Questions:

- **Reynard Cross** asked Noah Sandweiss if there is a restriction in the guidelines regarding imitation grain. Sandweiss responded that the neighborhood guidelines regarding materials state that no products imitating the grain of wood should be used.
- **Sam DeSollar** asked about lap siding, noting that the Louisiana Pacific website lists availability only in cedar grain. **Ernest Xi**, for the Petitioner, responded that the lap siding is available in smooth as a special order.
- **Sam DeSollar** referred to the rear facade of the civil engineer's site plan and asked about the sidewalk dead-ending in the middle of a blank elevation. **Ernest Xi**, for the Petitioner, responded that it was likely a mistake from Smith Design, and explained that the sidewalk goes from the parking area to the West entrance.

Public Questions/Comments:

- **Phil Worthington**, from Garden Hill Neighborhood District, stated that he met with the Petitioner and appreciates what he has done on the front of the house and with the project so far. Worthington said that it would be better for the neighbors to have the main entrance way & louder activity facing south and was hoping that the Petitioner could plant evergreens and/or native plants on the west side of the structure. Worthington also said that he wished the City didn't allow five bedroom structures as they've been a disaster in terms of nuisance.

Jack Baker made a **Motion to Deny COA 25-15** which goes against staff recommendation. **Jeremy Hackerd** seconded for the purpose to allow discussion.

Commissioner Comments:

- **Jack Baker** said that it has come a long way from the original plan and he is pleased with that, however it does not fit with the original houses of the neighborhood. Baker said that although the look isn't bad for the kind of house, it is allowing new construction which is not historic preservation. Baker commented that the HPC is doing what the Plan Commission isn't able to in regards to compliance of doors, windows and other design elements in context of the neighborhood and is sad to see the neighborhood transitioning into a commercial development rather than the original neighborhood.
- **Jeremy Hackerd** said he agrees with the observation that the design matches a couple of the newer houses that are slightly outside of the district but doesn't match a lot of the historic homes within the district.
- **Duncan Campbell** commented that the issue with new construction, which is never going to be historic preservation, is whether there is adequate compatibility. He agrees that the neighborhood is radically changed, which changes the concept of compatibility, and doesn't have much objection to the resubmitted plan as it is better than most of the multi-family construction in the neighborhood.

Duncan Campbell added that he is not sure what we're protecting here anymore and his preference would have been to not tear the existing house down but it had already been so significantly altered that preservation of it would be a complete redo and probably cost almost as much as building this new house. Campbell concluded by saying the days from the 1980 Master Plan are gone, we have overridden just about all those good ideas in the meantime and can't do anything about it. He observed that the HPC has been consistent in the approval of enlarging existing structures and that keeping the neighborhoods vital sometimes requires enlarging the spaces for more bedrooms, garages, etc. Campbell concluded by saying that he is impressed that the owner has collaborated with the neighborhood and is

attempting to do something more compatible and is not inclined to send him back to do it again.

- **Ernesto Castenada** said that he agreed that there is not much of the original neighborhood left to compare and asked for clarification on the drawings and if they were indicating a slab on grade foundation or if there was going to be a crawl space. The Petitioner responded that it is fairly low grade and will be a closed space, likely a split face, and asked if the HPC had a preference. Castenada responded that a crawl space would be preferred for maintenance and access to plumbing, plus would look better.
- **Sam DeSollar** commented that the Petitioner has done a lot with this proposal to comply with guidelines, the plan does well on setbacks, the language of the house seems very Arts and Crafts and he is glad they are considering a crawl space. DeSollar added that he thinks the guidelines are fairly well written and in terms of context this means looking at adjacent contributing properties, which are single story or story and a half. DeSollar said he's not concerned about the footprint, and if the Petitioner was willing to boost up the porch the arrangement of the entrances should work, however he wants to see an updated site plan that takes the revisions into consideration and the height is problematic. DeSollar concluded by saying that he thinks it's an incredibly well detailed building, and he's happy that the Petitioner went and talked to the neighborhood.

Public Comments:

- **Chris Sturbaum** said that the HPC is protecting the overall character of this neighborhood and it is a privilege to be able to do this fine line design control with the awareness of not getting too caught up on some of the details. Sturbaum said that understanding the role in each neighborhood is different and we could have seen a worse project without the conditions presented in the neighborhood guidelines. He concluded by suggesting that the HPC tell the Petitioner that he has done a nice job of listening to the recommendations and trying to do a good job of executing this project.

Note: Commission Chair Sam DeSollar allowed for public comments at this time. Typically public comments would be heard after Commissioner comments have concluded.

Commissioner Comments (continued):

- **Reynard Cross** commented that he is torn on making a decision and asked for clarification on the comments made by Noah Sandweiss and Sam DeSollar related to mass and height of the typical houses in the neighborhood. DeSollar responded that the majority of the typical houses in the neighborhood are single story or story and a half and there are a couple of 2 story houses in the neighborhood that are contributing and there is one house immediately to the North that is contributing, which is a ranch. Sandweiss responded that each floor is approximately a thousand square feet which is fairly similar to the surrounding contributing buildings and a couple of the non contributing buildings on the block are a lot larger than that, which is not recommended. Sandweiss referred to the neighborhood guidelines on height noting that both of the

buildings to the east are approximately the height of the proposed new construction, however they are non contributing, and there are several places in the district guidelines referencing that context is related to contributing buildings. Sandweiss pointed out that this was one of his concerns with the previous design which had a much larger mass.

- **Reynard Cross** requested that **Noah Sandweiss** comment on how the proposal compares to the contributing buildings and asked how the mass of the Petitioner's planned build, on a corner lot, is appropriate under the neighborhood guidelines. Sandweiss shared a google maps view of the lot for the proposed build and neighboring properties to provide a visual of the immediate context.
- **Sam DeSollar** said that the lot being on the lower end of the slope may mitigate the issue, but understands the concern. Sandweiss added that most of the contributing houses are single story and a couple of the notable ones are two stories.
- **Jack Baker** commented that he appreciates everything said by all the Commissioners and the developer, of which some he is in agreement and some not, however what is primary to him is to be true to the neighborhood which consists of contributing houses that are single story and story and a half, so he still finds this building inappropriate for the neighborhood.
- **Corporation Counsel Margie Rice**, on behalf of the City Legal Dept, asked Jack Baker for the specific criteria from the 11 in the local code that the Petitioner's proposal does not meet for the purposes of the record. **Jack Baker** responded that massing of this house compared with massing of the original houses in the neighborhood, the smaller contributing houses.

Margie Rice said she wanted to make sure that we're clear on what the factors are for the record and asked if the height was a problem. **Jack Baker** said yes.

Margie Rice asked if there was a problem with the proportion of the building's front facade. **Jack Baker** said yes, it's the height compared to the contributing buildings in the neighborhood. Baker added that this design is not relevant to the contributing houses of the neighborhood and though it is not a bad design, it is different from what is in the neighborhood and aligns with the other commercial houses, which we should not be looking at contextually as a commission.

Sam Desollar agreed that the HPC shouldn't be considering the commercial houses and that it is in the guidelines that those aren't used as context and commented that what he was hearing is that height and massing are the issues.

Jack Baker stated that those (height and massing) would be his prime issues.

A vote was taken on the **Motion to Deny COA 25-15** which ended in a split vote 3-3-0 (Yes-No-Abstain), therefore the **Motion to Deny failed**.

Discussion ensued between the Commissioners to determine the best course of action to take on this COA for the Petitioner to make alterations to his proposal to include the following recommendations :

- Adjustments related to the height of the porch to the site plan that includes the backyard, parking lot and sidewalk placement. (DeSollar)
- Additional information on the foundation, with preference for a crawl space. (Castaneda)

- Revisions to bring the roof line down so it is closer to a one and a half story building (Baker, Campbell & Cross)

Sam DeSollar made a **Motion to Continue COA 25-15** to the next HPC Meeting to allow time for the Petitioner to submit a revised plan taking into consideration revisions suggested by the HPC. **Jeremy Hackerd** seconded. **Motion carried 6-0-0** (Yes-No-Abstain).

COA 25-16

1101 N Lincoln St (Garden Hill HD)

Petitioner: Sheri Hillenburg

New construction at site of non-contributing house

COA 25-16 was tabled by default due to the Petitioner not being present. Noah Sandweiss reported that the Petitioner contacted him requesting that this item be continued so she can submit a new plan. **This COA will be continued to the next HPC meeting.**

OLD BUSINESS

Outstanding Violations: Noah Sandweiss provided a report to the Commission on the status of past and new violations which included prior action taken and proposed next steps, noting that most violations from 2020 through 2023 have been resolved.

Sandweiss provided detail on the properties with open/ongoing items and there was discussion among the Commissioners and Corporation Counsel, Margie Rice on what action can be taken regarding prosecution of ordinance violations based on provisions in the code. HAND Director Anna-Killion Hanson added that Title 8 (the code related to Historic Preservation) does not have the same prescribed path for violations that title 6 (trash, grass/mowing, snow removal, etc.)

NEW BUSINESS

Historic District Subcommittee Meetings will be taking place the 1st Thursday of the month at 4pm at the Monroe County History Center. In addition to the Public Notice, an invitation has gone out via email to those within the City who have expressed an interest in attending. For the upcoming meeting on April 3rd one topic of discussion is the proposed Maple Heights Historic District Guidelines. (Sandweiss)

COMMISSIONER COMMENTS

Commission Chair **Sam DeSollar** commented that the Commission has some procedures to work through and that he is looking forward to working with HAND Director Anna-Killion Hanson and the City Legal Department to get the HPC's reporting and Notice of Violation mechanism in place.

PUBLIC COMMENTS - NONE

ADJOURNMENT

Commission Chair **Sam DeSollar** adjourned the meeting at **6:18pm**

A video record of this meeting is available on the City of Bloomington YouTube Channel

https://www.youtube.com/@city_bloomington

For a transcript click on "videos" select more and then "show transcript"

Cats - Community Access Television Services

<https://catstv.net/m.php?q=14406>

The next regular meeting date of the HPC is Thursday April 10, 2025 at 5:00 P.M. and will be held in a hybrid manner, both in person and via Zoom.

More information about the Historic Preservation Commission can be found here:

<https://bloomington.in.gov/boards/historic-preservation>

STAFF APPROVAL	Address: 515 S Hawthorne Dr (Elm Heights HD)
COA 25-18	Petitioner: Kathleen Bethel
Start Date: 3/25/2025	Parcel: 53-08-04-102-044.000-009
RATING: CONTRIBUTING	c. 1940 Garrison style home



Background: This 1935 colonial-revival garrison house has two mature oak trees in the front yard. The northern tree has been inspected recently, and several health problems that could damage the tree and surrounding buildings have been identified.

Request: Removal of sick mature pin oak tree in front yard.

Guidelines: Elm Heights Historic District

I. Removal of a mature tree that is visible from the public right-of-way.

A mature tree is:

a) a shade tree whose trunk is twelve inches in diameter or larger,
b) an ornamental tree whose trunk is four inches in diameter or fifteen feet high, or

c) an evergreen tree whose trunk is eight inches in diameter or fifteen feet high.

- A COA is not required to remove a dead tree. Consult with the City staff person to the Historic Preservation Commission regarding diseased, dying, or infested trees.

- A COA is not required to remove an invasive tree as defined in the City of Bloomington Tree Care Manual.

- When replanting, refer to the City of Bloomington Tree Care Manual for recommendations.

- Retain historic landscape edging; do not introduce historically inappropriate edging materials and colors.

- Selective removal of mature trees to allow solar installations may be considered on a case-by-case basis

Staff approves COA 25-18

While the trunks of healthy oak trees can hollow with age and this tree is still sprouting foliage, the report and visual evidence presented show several factors that endanger the tree and surrounding properties including large dead or dying limbs, root rot, and rotting trunk cavities. Considering the risk that this tree poses to the surrounding properties and its numerous health issues, removal of the tree is an appropriate remedy.



Jenny Southern
to me ▾

Wed, Mar 26, 7:44 PM (6 days ago)

Hi Noah,

I am also out of town for the next two weeks but yes I think it could come down.

The house on the left has slate shingles and I'd hate to see them damaged.

It looks like the Y in the tree may be letting water tank in the trunk, probably for at least 10 years if that is a patch of missing bark I see in one photo below the Y about 10 feet down.

That would cause unseen rot in the middle which would slowly eat it's way to the bottom where you would see an opening.

Squirrel heaven but could come down in a storm with the right twist. Or with a lot of luck 70 years from now. Best not to take that gamble.

See you when I'm back in town!

Jenny



**CITY OF
BLOOMINGTON**

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

INFORMATION ABOUT THE PROPERTY

Address of Property: 515 S. HAWTHORNE
Parcel Number(s): 53-08-04-102-044.000-009

(OFFICE USE ONLY)

Filing Date: _____
Case Number: _____
HPC Hearing Date: _____

Bloomington Historic District:

- ☐ Courthouse Square Historic District
- ☒ Elm Heights Historic District
- ☐ Fairview Historic District
- ☐ Garden Hill Historic District
- ☐ Greater Prospect Hill Historic District
- ☐ Maple Heights Historic District
- ☐ Matlock Heights Historic District
- ☐ McDoel Historic District
- ☐ Near West Side Historic District
- ☐ Prospect Hill Historic District
- ☐ Restaurant Row Historic District
- ☐ Showers Brothers Furniture Factory Historic District
- ☐ University Courts Historic District
- ☐ Other: _____

RATING (City of Bloomington Survey of Historic Sites and Structures)

- ☐ Outstanding
- ☐ Notable
- ☒ Contributing
- ☐ Non-Contributing

APPLICANT INFORMATION:

Name: JOHN AND KATHLEEN BETHELL Email: kathleen.bethell@gmail.com

Address: 515 S. HAWTHORNE DRIVE 47401 Phone: 812-219-6474

PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner ☒

Name: JOHN AND KATHLEEN BETHELL Email: kathleen.bethell@gmail.com

Address: 515 S. HAWTHORNE DR 47401 Phone: 812-219-6474

PROPOSED WORK (Check all that Apply):

- ☐ New construction
 - ☐ Principal building
 - ☐ Accessory building or structure
 - ☐ Addition to existing building
- ☐ Demolition
 - ☐ Full Demolition
 - ☐ Partial Demolition
- ☐ Moving a building
- ☐ Alterations to the façade or exterior spaces of the property
 - ☐ Window replacement
 - ☐ Door replacement
 - ☐ Siding
 - ☐ Roof material
 - ☐ Foundation
 - ☐ Other façade element: _____
- ☐ New Signage
- ☒ Alterations to the yard
 - ☐ Alteration to fences, walls
 - ☒ Tree removal
- ☐ Other(s): _____

ADDITIONAL REQUIRED DOCUMENTS

- ☒ Written description of the nature of the proposal. *- Report from Bluestone Tree*
- ☐ Written description of all of the proposed materials to be used.
- ☒ Between 3 and 5 photographs of the historic site and/or structure before changes.
- ☐ Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- ☐ A map of the site with the site boundaries indicated.

CERTIFICATION

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant's Signature: _____

Patricia Beth

Date: _____

03/25/2025

Kind Regards,
Simon Normile
ISA Certified Arborist IN1417-A T.R.A.Q.

Begin forwarded message:

From: Simon Normile <simon.normile@gmail.com>
Date: February 21, 2025 at 14:36:41 EST
To: Simon Normile <simon@bluestonetreecorp.com>
Subject: Bethel assessment

Here is the updated ISA Level 3 Tree Risk Assessment Report with the consequence rating for whole tree failure changed to severe.

ISA Level 3 Tree Risk Assessment Report

Client Information:

Client Name: Kathleen Bethel
Address: 515 S Hawthorne Dr, Bloomington
Date of Assessment: February 21, 2025
Time of Assessment: 11:00 AM
Assessor: Simon Normile
Tools Used: Mallet, Probe, Resistograph
Time Frame: 1-Year

Tree Information

Tree Species: Quercus palustris (Pin Oak)
DBH (Diameter at Breast Height): 40 inches
Height: 90 feet
Crown Spread: 60 feet
Tree Location: Residential area

Target Assessment

Primary Targets:

1. Home (Primary target to the south) – No target protection
2. Neighbor's Home to the North – No target protection

Occupancy Rate:

- Home: Frequent (4)
- Neighbor's Home: Frequent (4)

Consequence Rating:

- Home: Severe (4)
- Neighbor's Home: Severe (4)

Overall Risk Rating Before Mitigation:

- Home: High
- Neighbor's Home: High

Site Conditions & Tree Health

Site Factors:

- History of Failures: Previous branch failures between 4-6 inches in diameter
- Soil Conditions: Normal
- Common Weather Events: Strong winds
- Topography: Flat

Tree Health and Structure:

- Vigor: Good
- Foliage Health: Normal
- Branch Structure:
 - Decay pockets present in major scaffold branches
 - Previous branch failures (4-6 inches)

Trunk Condition:

- Decay Presence: Hollow trunk
- Response Growth: Good
- Cavities: Present, 8% circumference of trunk

Root and Root Collar Condition:

- Decay at Root Flare: Present
- Response Growth: Good
- Structural Integrity: Moderate
- Soil Heaving: None observed

Risk Categorization & Likelihood of Failure

Whole Tree:

- Condition of Concern: Decay and fungal growth at root flare
- Likelihood of Failure: Possible
- Likelihood of Impact: High
- Consequence of Failure: Severe
- Risk Rating: High

Branches:

- Condition of Concern: Decay pockets in primary scaffold branches
- Likelihood of Failure: Possible
- Likelihood of Impact: High
- Consequence of Failure: Significant
- Risk Rating: Moderate

Mitigation Recommendations

1. Remove Tree: Due to decay at the root flare and hollow trunk, full removal is recommended to eliminate risk.
2. Weight Reduction & Pruning: If removal is not an option, conduct phased weight reduction pruning to alleviate stress on scaffold branches.
3. Tree Inspection & Monitoring: Annual assessments recommended to monitor decay progression and structural integrity.

Residual Risk After Mitigation:

- After Weight Reduction & Monitoring: Low (for branches)
- If Tree is Removed: No residual risk

Conclusion

The 40" DBH Pin Oak exhibits high risk due to structural decay in the root flare and primary scaffold branches. Given the severe consequences of whole tree failure, along with high target occupancy, the recommended course of action is tree removal. If removal is not feasible, phased weight reduction pruning and continuous monitoring are necessary to mitigate risks. The assessment suggests re-evaluating the tree within one year.

Recommended Inspection Interval: 1 Year

Report Prepared By:

Simon Normile

ISA Certified Arborist

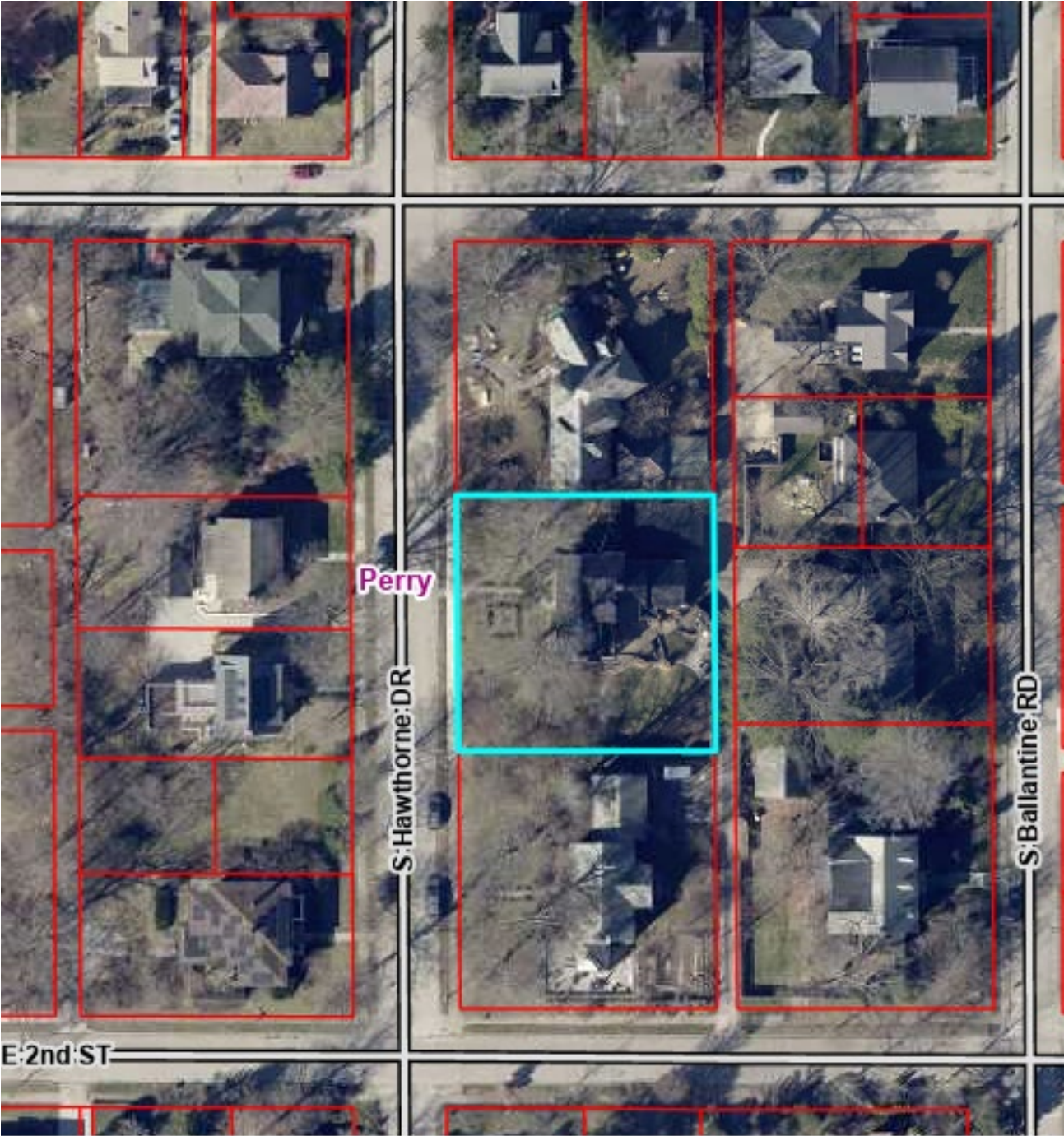
Kind regards,

Simon

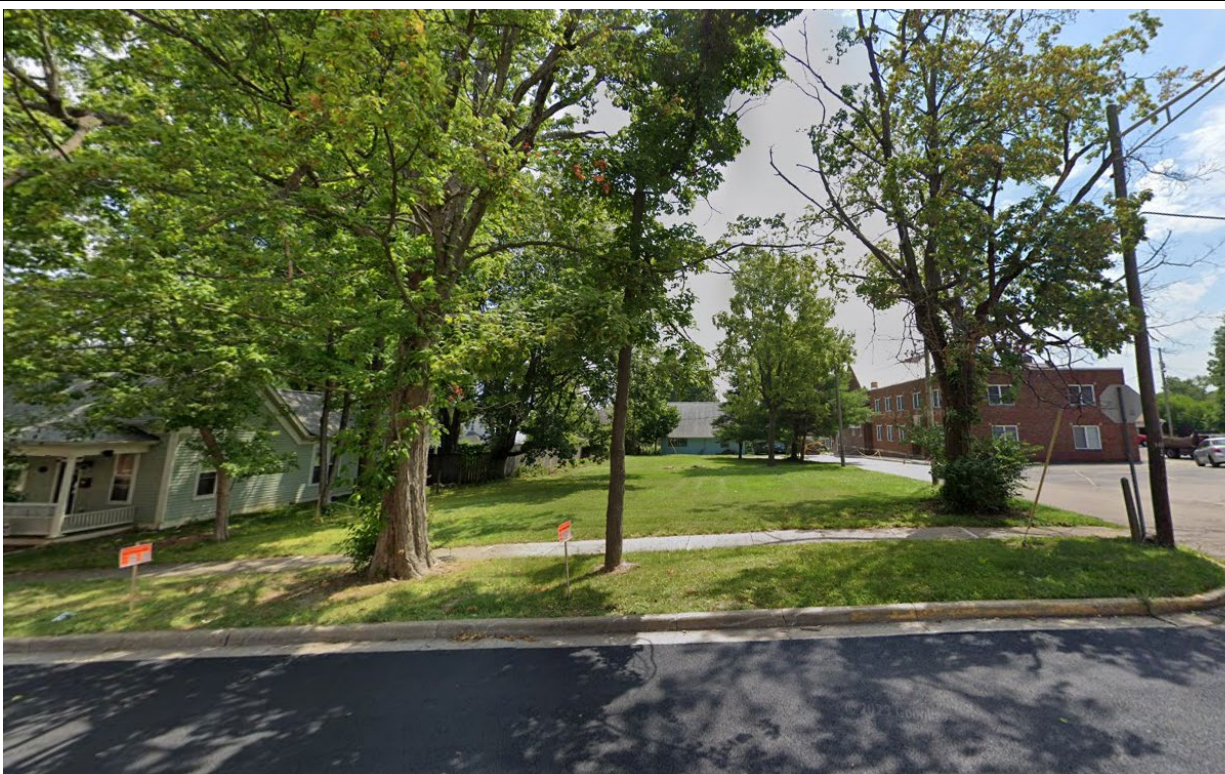
P 3







STAFF APPROVAL	Address: 523 W 7th St (Near West Side HD)
COA 25-19	Petitioner: Jennifer and Jay Kincaid
Start Date: 3/26/2025	Parcel: 53-05-32-413-080.000-005
RATING: NON-CONTRIBUTING	2025 two story bungalow



Background: In August 2024 the Historic Preservation Commission approved COA 24-28 proposing the construction of a new home on an empty lot in the Near West Side Historic District. The petitioners had indicated a desire to build fences and install solar panels although these plans would have to wait pending further considerations. Now that the applicants are prepared to present a plan for these additions they are returning to the HPC for review.

Request:

We are requesting approval to install a 6-foot high fence along part of the west side of the property facing Jackson Street, where a 4-foot fence would otherwise be the height limit. A 6-foot fence is already permitted and will be installed on the east side and rear side of the property. (See accompanying site plan.) We request permission for a 6-foot fence to continue around the rest of the backyard in order to address several important concerns related to security, privacy, and aesthetics.

First, the fence will serve as a necessary barrier to protect our vegetable garden from the local deer population, which frequently damages plants and disrupts landscaping

efforts. A taller fence is essential to effectively deter them and maintain the integrity of our outdoor space.

Additionally, the fence will provide a practical solution for concealing trash cans from public view, ensuring a cleaner and more aesthetically pleasing streetscape that aligns with community standards.

More importantly, the 6-foot fence will enhance the security of our property by creating a defined boundary in the backyard that discourages trespassing since a 4-foot fence is much easier to climb over. The front yard and side yard along the porch would have a shorter picket fence so it is just the backyard that would have a more private area, enhancing safety and security.

Furthermore, our property is directly across the street from the two-story church property on Jackson Street including a building with residences, as well as individuals seeking shelter on the church steps. There are often people congregating in close proximity, increasing foot traffic near our home. Without a 6-foot fence, there is a direct line of sight into our backyard and living spaces, impacting our family's privacy. This is a unique situation in the neighborhood along a narrow street putting more people in the immediate vicinity than would otherwise be present on a residential block.

Given these considerations, we respectfully request approval for this installation and appreciate your time and thoughtful consideration.

Sincerely,

Jenny and Jay Kincaid

Guidelines: Near West Side Historic District

SUSTAINABILITY

RECOMMENDED

- Locate solar panels on the house roof at the same pitch as the existing roof. Position close to the roof surface and as inconspicuous as possible. Alternatively, place solar panels in the backyard or on the garage roof. Creative use and placement of alternative energy sources is encouraged.
- If necessary, install at elevations not significantly above the roof surface. Install so as to be as inconspicuous as possible while still functional.

FENCES

RECOMMENDED

1. Maintaining original limestone retaining walls

2. New retaining walls are limestone
3. Wood or wire fencing is appropriate
4. Front yard fencing 4' or lower in height
5. Picket fences
6. Vertical board privacy fence behind the front building wall

NOT RECOMMENDED:

1. Chain link fences in front of the front building wall
2. Plastic or vinyl fencing
3. Decorative wrought iron

Staff approves COA 25-19

In the Near West Side, fences and rooftop solar panels are generally handled as staff review. The 4' picket fence in front of the house and 6' vertical board privacy fence in the rear meet district guidelines, and the proposed rooftop solar panels are located in an inconspicuous rear location.



Peter Dorfman

to Barb, Beth, Bob, Karen, Karlyn, Sandra, William, me ▼

Noah:

The Design Review Committee for the Near West Side has reviewed these proposals. We have no objections to what the applicants want to do here.

Peter Dorfman

908 391-5921



**CITY OF
BLOOMINGTON**

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

INFORMATION ABOUT THE PROPERTY

Address of Property: 523 W. 7th St. 47404

Parcel Number(s): 53-05-32-413-080.000-005

(OFFICE USE ONLY)

Filing Date: _____

Case Number: _____

HPC Hearing Date: _____

Bloomington Historic District:

Courthouse Square Historic District

Elm Heights Historic District

Fairview Historic District

Garden Hill Historic District

Greater Prospect Hill Historic District

Maple Heights Historic District

Matlock Heights Historic District

McDoel Historic District

☒ Near West Side Historic District

Prospect Hill Historic District

Restaurant Row Historic District

Showers Brothers Furniture Factory Historic District

University Courts Historic District

Other: _____

RATING (City of Bloomington Survey of Historic Sites and Structures)

Outstanding

Notable

Contributing

☒ Non-Contributing

APPLICANT INFORMATION:

Name: John and Jennifer Kincaid Email: jaykinca@iu.edu

Address: 1567 S. Renwick Blvd. Bloomington, IN 47401 Phone: 812-325-1810

PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner ☒

Name: _____ Email: _____

Address: _____ Phone: _____

- Accessory building or structure
- Addition to existing building
- Demolition
 - Full Demolition
 - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
 - Window replacement
 - Door replacement
 - Siding
 - Roof material
 - Foundation
 - Other façade element: _____
- New Signage
- Alterations to the yard
 - × Alteration to fences, walls
 - Tree removal
- × Other(s): Solar panel installation

ADDITIONAL REQUIRED DOCUMENTS

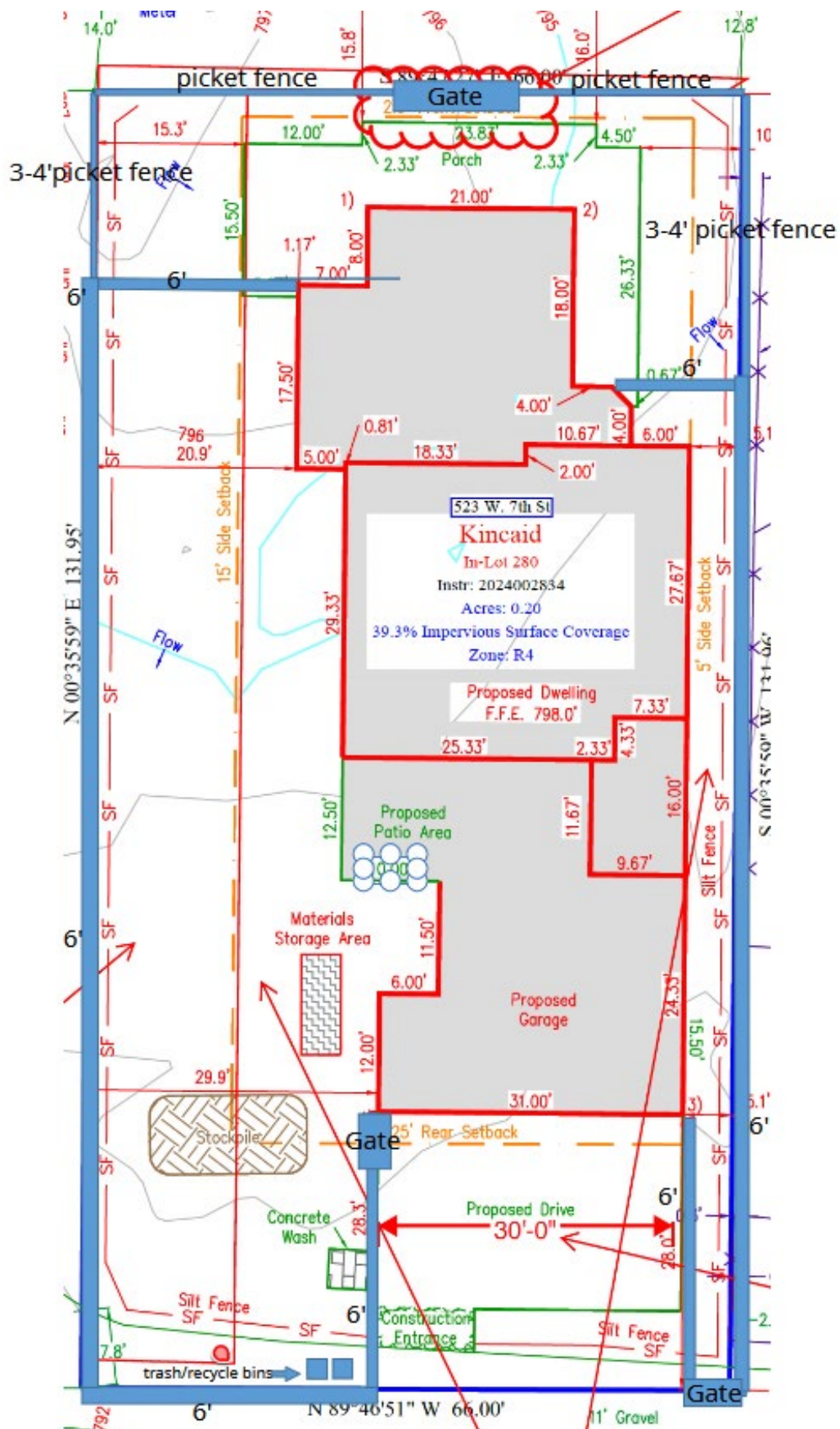
- × Written description of the nature of the proposal.
- × Written description of all of the proposed materials to be used.
- × Between 3 and 5 photographs of the historic site and/or structure before changes.
- × Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- × A map of the site with the site boundaries indicated.

CERTIFICATION

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

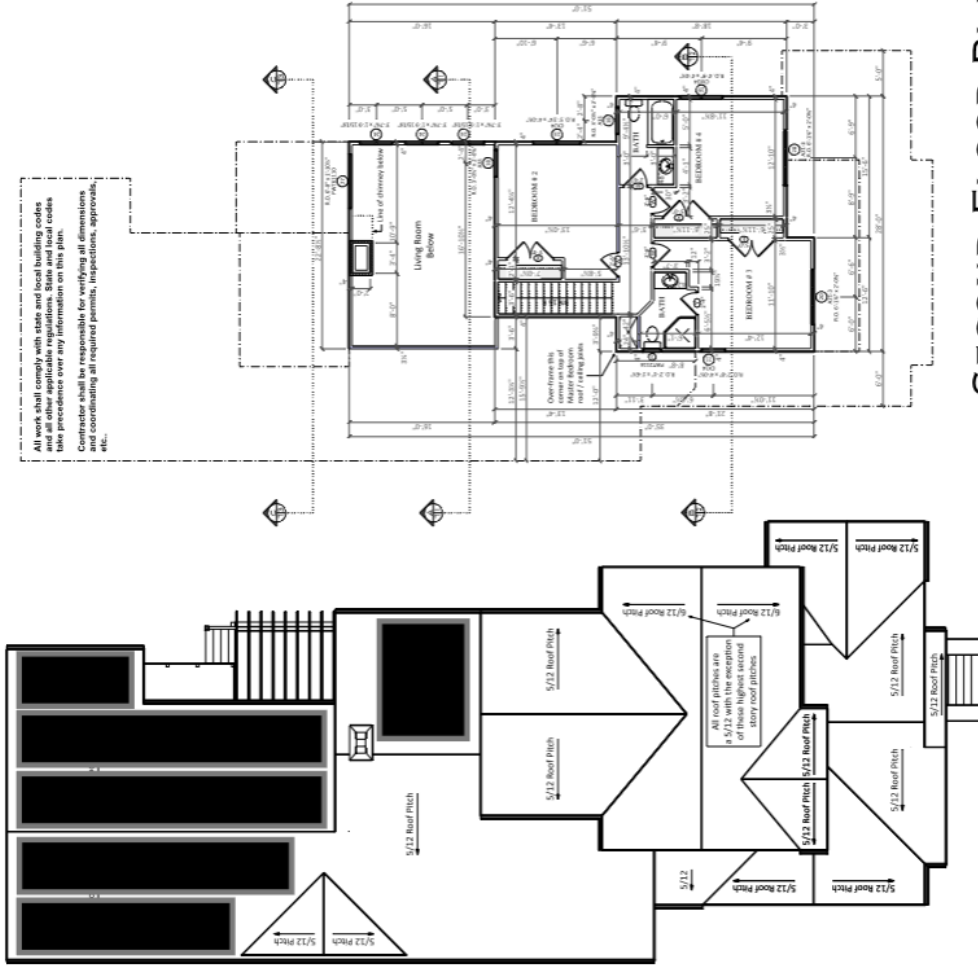
Applicant's Signature: Jennifer Kincaid Date: 3/26/25



SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

Contractor shall be responsible for verifying all dimensions and coordinating all required permits, inspections, approvals etc.

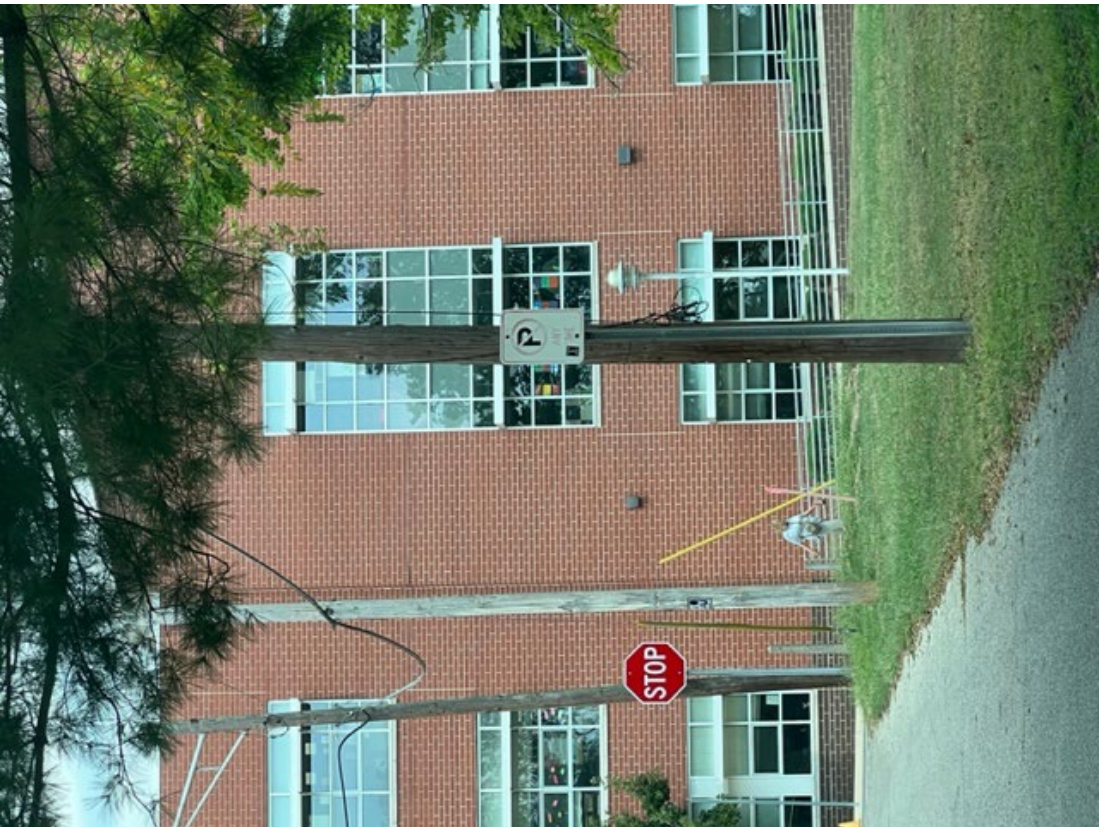


Roof Birds Eye View

Elm Town Design is not an engineering firm and therefore assumes no responsibility for any design failures or costs resulting, either directly or indirectly, from the drawings we provide. Customer is responsible to consult with a qualified professional engineer, architect, and builder to verify the structural integrity, dimensions, materials, and design details of the drawings before proceeding with construction.









STAFF RECOMMENDATIONS	Address: 1104 N Grant St (Garden Hill HD)
COA 25-15	Petitioner: Tyler Martin
Start Date: 3/13/2025	Parcel: 53-05-33-203-007.000-005
RATING: NON-CONTRIBUTING	Significantly altered 1940 minimal ranch



Background:

On November 14th 2024, the Historic Preservation Commission voted to approve the demolition of a non-contributing building at 1104 N Grant St. Subsequently, the property owner submitted a petition for a new build for the December 12th meeting of the HPC, which was withdrawn when it did not receive a recommendation. The owner of the lot has communicated with the District Design Review Committee in the following months to come up with a new design to meet district guidelines.

Request:

New construction of two-story house. The proposal calls for the use of asphalt shingle roofing, 7" reveal LP siding, double hung vinyl windows, and painted wooden posts and brackets.

Guidelines: Garden Hill HD

CONTEXT FOR NEW CONSTRUCTION

Standards and guidelines serve as aids in designing new construction that relates sensitively to the surrounding context. Therefore, the most important first step in designing new construction in any historic district is to determine just what that context is. "Contributing" properties are important to the

density and continuity of the historic neighborhood, but are not individually outstanding or notable architecturally. These classifications will be available on-line. Each property in the Garden Hill Study Area is described.

Each site presents a unique context. This is comprised of “contributing” buildings immediately adjacent, the nearby area (often the surrounding block), a unique sub-area within the district, and the district as a whole.

2. ISOLATED LOT. This is usually a single vacant lot (sometimes two very small lots combined) which exists in a highly developed area with very few if any other vacant lots in view.

Context: The existing contributing buildings immediately adjacent and in the same block, and the facing block provide a very strong context to which any new construction must primarily relate.

MATERIALS

RECOMMENDED

1. Building materials, whether natural or manmade, should be visually compatible with surrounding historic buildings.
2. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the “grain” of wood should be used.
3. Brick, limestone, clapboard, cement board, wood, shingles and stucco are appropriate materials.

SETBACK

1. A new building’s setback should conform to the set-back pattern established by the existing block context. If the development standards for the particular zoning district do not allow appropriate setbacks, a variance may be needed.
2. On corner sites, the setbacks from both streets must conform to the context.
3. Structures that are much closer or further from the street than the vast majority of houses in a given block should not be used to determine appropriate setback.

BUILDING ENTRY

Entrances may characteristically be formal or friendly, recessed or flush, grand or common place, narrow or wide. New buildings should reflect a

similar sense of entry to that which is expressed by surrounding historic buildings.

SPACING

New construction that reflects and reinforces the spacing found in its block. New construction should maintain the perceived regularity or lack of regularity of spacing on the block.

HEIGHT

1. Generally, the height of a new building should fall within a range set by the highest and lowest contiguous buildings if the block has uniform heights. Uncharacteristically high or low buildings should not be considered when determining the appropriate range.
2. Cornice heights, porch heights and foundation heights in the same block face and opposing block face should be considered when designing new construction.
3. Consider the grade of the lot against the grade of the adjacent sidewalk as well as the grade of the adjacent neighbor.

HEIGHT AND SETBACK

1. A new house of the same height as existing houses may be as close to them as they are to each other.
2. A new house which is taller than the house next to it must be set back further from the side property line than existing houses.

OUTLINE

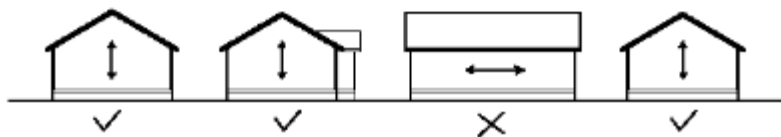
1. The basic outline of a new building, including general roof shape, should reflect building outlines typical of the area.
2. The outline of new construction should reflect the directional orientations characteristic of the existing building in its context.

Roof Shape



2. The outline of new construction should reflect the directional orientations characteristic of the existing building in its context.

Directional Orientation



MASS

1. The total mass and site coverage of a new building should be consistent with surrounding buildings.
2. The massing of the various parts of a new building should be characteristic of surrounding buildings.

FOUNDATION/FIRST FLOOR ELEVATION

New construction first floor elevation and foundation height should be consistent with contiguous buildings.

FENESTRATION

1. Creative expression with fenestration is not precluded provided the result does not conflict with or draw attention from surrounding historic buildings
2. Windows and doors should be arranged on the building so as not to conflict with the basic fenestration pattern in the area.
3. The basic proportions of glass to solid which is found on surrounding contributing buildings should be reflected in new construction.
4. Window openings should reflect the basic proportionality and directionality of those typically found on surrounding historic buildings.

Staff recommends approval of COA 25-15

Materials: The proposed materials including LP siding (provided it does not have an imitation grain), brick veneer, asphalt roof shingles, and painted wood architectural details are consistent with district guidelines.

Setback: The 30' front setback matches that of the neighboring house and other buildings on the block. Likewise the 15' side setback matches the nearby buildings on Grant. Being the same height as the neighboring buildings on the block it can be located as close to them as they are to each other.

Entry: The one story front porch with tapered posts is reflects similar porches found on contributing buildings throughout the district. The addition of a side entrance on Grant Street contributes to a pattern of fenestration typical of buildings in the district and relates the building to the surrounding neighborhood context.

Height: Two story buildings are unusual in Garden Hill and "generally, the height of a new building should fall within a range set by the highest and lowest contiguous buildings if the block has uniform heights." Sitting on a corner lot on 15th Street, the two buildings directly to the east of the proposed new construction are approximately 25' high. While this design presents a 26' 1.8" ridge height, this is fairly close to the neighboring contiguous buildings on the block.

Outline: The dual-gabled front entrance and full width single-story porch on the south elevation match outlines recommended in the district guidelines. On the western secondary elevation facing Grant, a second story dormer breaks up the building's long orientation

Mass: The footprint of 24' x 46' is similar in site coverage to neighboring buildings on the 400 block of E 15th Street and the 1100 block of N Grant Street, and with height considered the overall mass is similar to the neighboring buildings on the 15th Street block.

Fenestration: The regular fenestration patterns presented on the street-facing facades are fairly typical of buildings in the district. The use of double hung windows is consistent with many of the surrounding historic buildings and the new build's stylistic influences.

While the submitted plan is large by the standards of the district, its height, mass, and footprint fit the context of the block and the proposed design elements fit district guidelines and reference architectural features found on historic buildings in the district. Both street facing facades convey a

similar sense of entry to that which is expressed by surrounding historic buildings.



<jagayagadaga>

to me ▾

Mon, Mar 17, 2:15 PM (3 days ago) ★ ↶ ⋮

Hi Noah,

We are adamantly opposed to an apartment complex replacing a house at 1101 N. Lincoln. We can only hope the commission agrees.

1104 N. Grant is missing something on the west side but the front of the house looks good. The meeting went well. Tyler also said they would replace the old trees they have to cut to build. There are three of them. I wish I could be more specific about the west side. It just looks plain, but that's a lot better than it looked before, so no real complaints.

Best,

Kerry



**CITY OF
BLOOMINGTON**

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

INFORMATION ABOUT THE PROPERTY

Address of Property: 1104 North Grant Street

Parcel Number(s): 53-05-33-203-007.000-005

(OFFICE USE ONLY)

Filing Date: _____

Case Number: _____

HPC Hearing Date: _____

Bloomington Historic District:

- ☐ Courthouse Square Historic District
- ☐ Elm Heights Historic District
- ☐ Fairview Historic District
- ☒ Garden Hill Historic District
- ☐ Greater Prospect Hill Historic District
- ☐ Maple Heights Historic District
- ☐ Matlock Heights Historic District
- ☐ McDoel Historic District
- ☐ Near West Side Historic District
- ☐ Prospect Hill Historic District
- ☐ Restaurant Row Historic District
- ☐ Showers Brothers Furniture Factory Historic District
- ☐ University Courts Historic District
- ☐ Other: _____

RATING (City of Bloomington Survey of Historic Sites and Structures)

- ☐ Outstanding
- ☐ Notable
- ☐ Contributing
- ☐ Non-Contributing

APPLICANT INFORMATION:

Name: Tyler Martin **Email:** tyler.fieldstone@gmail.com

Address: 3703 Chaudion Court, Bloomington IN 47401 **Phone:** 8122407565

PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner. ☒

Name: _____ **Email:** _____

Address: _____ **Phone:** _____

PROPOSED WORK (Check all that Apply):

- ☒ New construction
- ☐ Principal building
 - ☐ Accessory building or structure
 - ☐ Addition to existing building
- ☐ Demolition
- ☐ Full Demolition
 - ☐ Partial Demolition
- ☐ Moving a building
- ☐ Alterations to the façade or exterior spaces of the property
- ☐ Window replacement
 - ☐ Door replacement
 - ☐ Siding
 - ☐ Roof material
 - ☐ Foundation
 - ☐ Other façade element: _____
- ☐ New Signage
- ☐ Alterations to the yard
- ☐ Alteration to fences, walls
 - ☐ Tree removal
- ☐ Other(s): _____

ADDITIONAL REQUIRED DOCUMENTS

- ☐ Written description of the nature of the proposal.
- ☐ Written description of all of the proposed materials to be used.
- ☐ Between 3 and 5 photographs of the historic site and/or structure before changes.
- ☐ Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- ☐ A map of the site with the site boundaries indicated.

CERTIFICATION

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

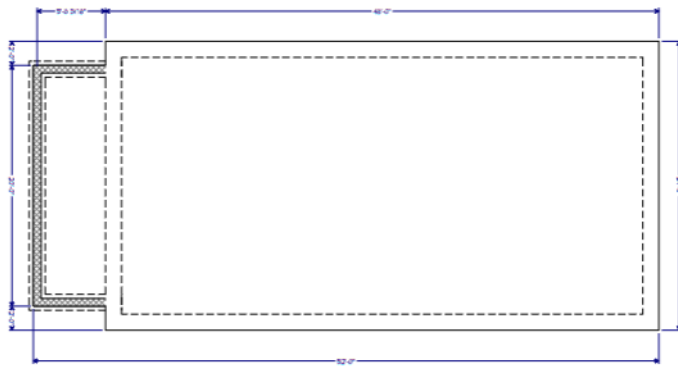
1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant's Signature: _____

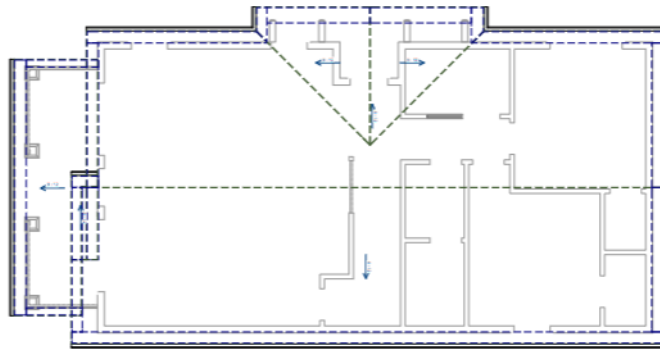


Date: 3.13.25

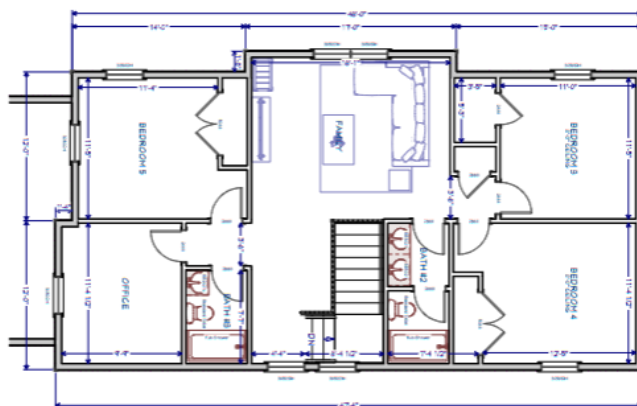
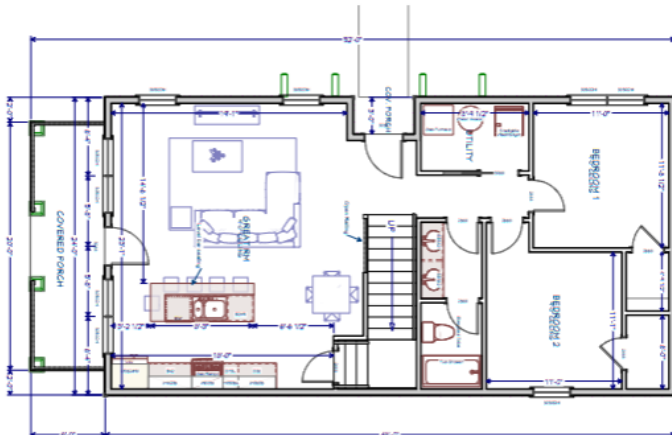




Foundation Plan
Scale: 1/4" = 1'-0"



Roof Plan
Scale: 1/4" = 1'-0"



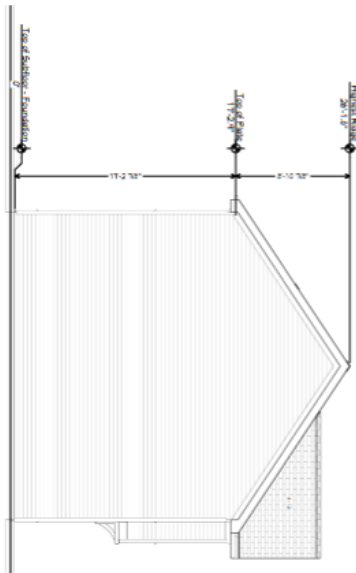
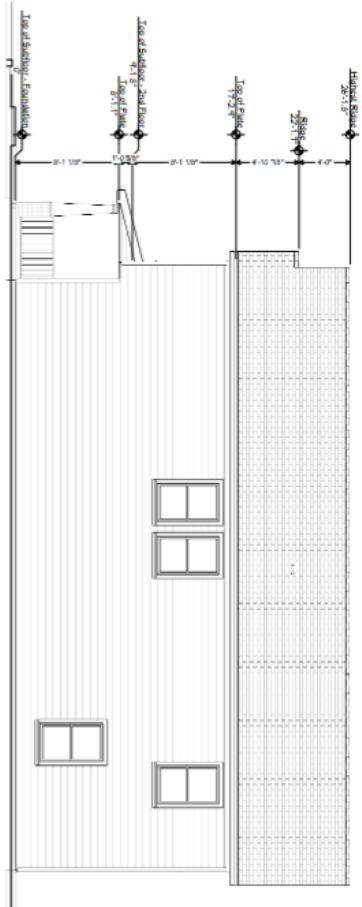
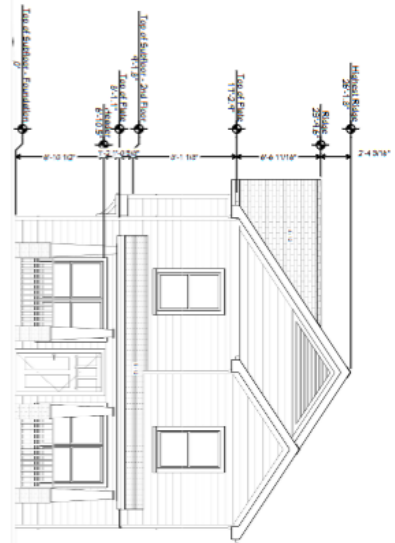
Square Footage:

Main Floor: 1,089 sq.ft.
 Sec Floor: 1,148 sq.ft.
 Total: 2,237 sq.ft.

Notes:

Main level ceilings to be 8'-0" unless noted.
 Second level ceilings to be 8'-0" unless noted.
 Exterior walls to be 2x6, interior to be 2x4.
 Door and window sizes noted within plans.





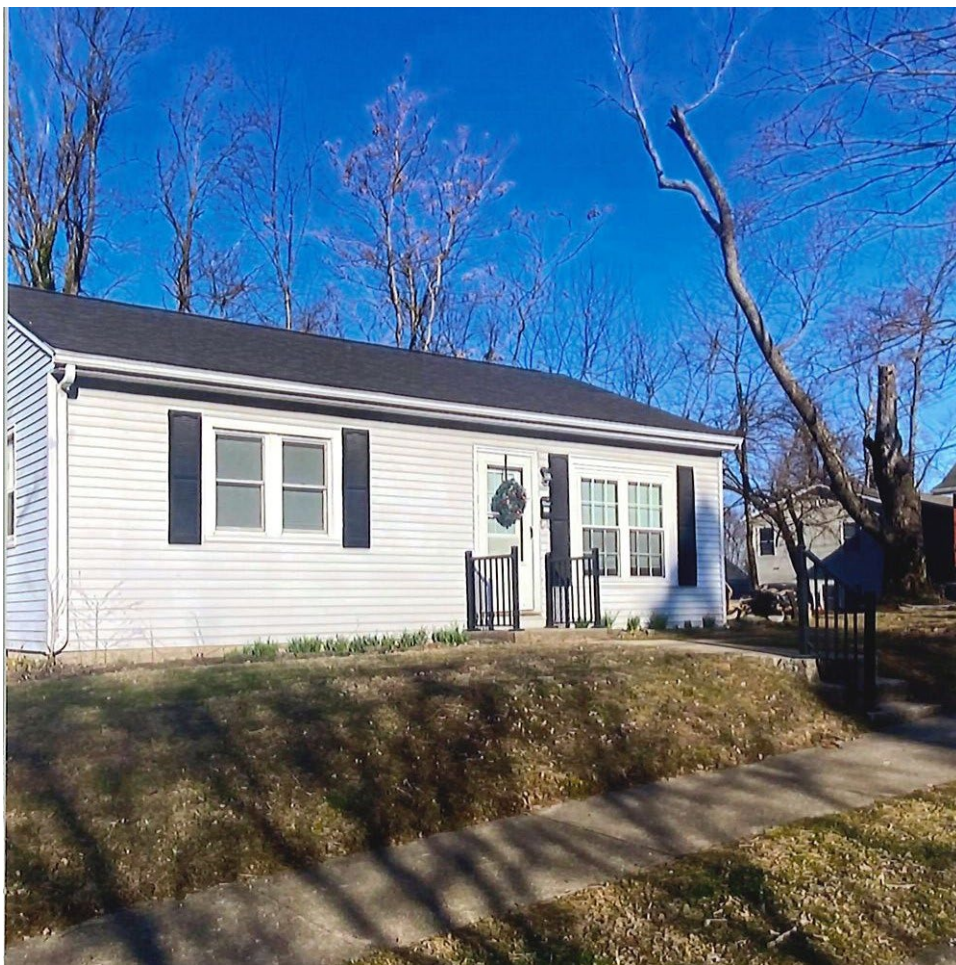
Elevations

Scale: 1/4" = 1'-0"





STAFF RECOMMENDATIONS	Address: 1101 N Lincoln St (Garden Hill HD)
COA 25-16	Petitioner: Sherri Hillenburg
Start Date: 3/13/2025	Parcel: 53-05-33-202-010.000-005
RATING: NON-CONTRIBUTING	1948 minimal ranch



Background:

1101 N Lincoln St is a minimal traditional ranch built in 1948. The building is not listed as a contributing property on the Indiana Historic Sites and Structures Inventory or in the Garden Hill Historic District, and most of its historic exterior features have been replaced.

Request:

HPC Proposal

Proposal is to tear down existing structure. A new multi-family building with 3 attached townhomes will be constructed. Entrance to southern most unit shall face 15th Street. The two remaining townhomes shall have an entrance facing east on North Lincoln St. Each townhome shall have a separate entry with porches to help differentiate each unit.

Building meets all setbacks. No variances requested. Large, old, Silver Maple tree in yard facing south to remain. Trees on north side of property to be removed. Most are dead or dying. New landscaping will be installed as required by planning.

Utility services shall be underground.

Building will be a full 2 floors above grade with the basement level being completely below grade. Our preference would be to have 2.5 floors above grade. However, after meeting with Noah Sandweiss, it seemed likely that the commission would not approve the request.

Each unit will have a sidewalk with steps coming off the porch to intersect with public sidewalks.

Building Materials

Exterior

- Hardy plank siding combo 8 inches and 4 inches
- Aluminum gutters and downspouts
- Roof – flat asphalt shingles
- Windows – vinyl clad with 4–5-inch window trim
- Entry door – fiberglass
- Exterior Walls – 2 x 6 wood construction
- Porch steps and floor – poured concrete

Basement

- Nine-foot concrete walls 8 inches thick
- Concrete floor 4 inches thick
- Parting walls double 2 x 4 walls with 1 inch between

Interior

- VCT flooring
- 2 x 4 interior walls finished with OSB

Misc

- Each unit to have separately metered utilities

Guidelines: Garden Hill HD

STANDARDS FOR DEMOLITION

A certificate of appropriateness must be issued by the Bloomington Historic Preservation Commission before a demolition permit is issued by other agencies of the city and work is begun on the demolition of any building in the Garden Hill Conservation District. This section explains the type of work considered in this plan to be demolition as well as the criteria to be used when reviewing applications for Certificates of Appropriateness that include demolition.

SUBJECT TO REVIEW AND APPROVAL

Demolition of primary structures within the boundaries of the conservation district or demolition of contributing accessory buildings

GUIDELINES

The following guidelines relate to the above actions and they are enforceable by the BHPC. These are the same guidelines as those for historic districts.

DEMOLITION DEFINITION

Demolition shall be defined as the complete or substantial removal of any structure which is located within a historic district. This specifically excludes partial demolition as defined by Title 8 "Historic Preservation and Protection."

CRITERIA FOR DEMOLITION

When considering a proposal for demolition, the BHPC shall consider the following criteria for demolition as guidelines for determining appropriate action. The HPC shall approve a Certificate of Appropriateness or Authorization for demolition as defined in this chapter of deterioration, disrepair, and structural stability of the structure. The condition of the building resulting from neglect shall not be considered grounds for demolition.

2. The historic or architectural significance of the structure is such that, upon further consideration by the Commission, it does not contribute to the historic character of the district.
3. The demolition is necessary to allow development which, in the Commission's opinion, is of greater significance to the preservation of the district than is retention of the structure, or portion thereof, for which demolition is sought.
4. The structure or property cannot be put to any reasonable economically beneficial use without approval of demolition.
5. The structure is accidentally damaged by storm, fire or flood. In this case, it may be rebuilt to its former configuration and materials without regard to these guidelines if work is commenced within 6 months.

With the exception of Criterion #5, all replacement of demolished properties should follow new construction guidelines. The HPC may ask interested individuals or organizations for assistance in seeking an alternative to demolition. The process for this is described in Title 8.

CONTEXT FOR NEW CONSTRUCTION

Standards and guidelines serve as aids in designing new construction that relates sensitively to the surrounding context. Therefore, the most important

first step in designing new construction in any historic district is to determine just what that context is. "Contributing" properties are important to the density and continuity of the historic neighborhood, but are not individually outstanding or notable architecturally. These classifications will be available on-line. Each property in the Garden Hill Study Area is described.

Each site presents a unique context. This is comprised of "contributing" buildings immediately adjacent, the nearby area (often the surrounding block), a unique sub-area within the district, and the district as a whole.

2. ISOLATED LOT. This is usually a single vacant lot (sometimes two very small lots combined) which exists in a highly developed area with very few if any other vacant lots in view.

Context: The existing contributing buildings immediately adjacent and in the same block, and the facing block provide a very strong context to which any new construction must primarily relate.

MATERIALS

RECOMMENDED

1. Building materials, whether natural or manmade, should be visually compatible with surrounding historic buildings.
2. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the "grain" of wood should be used.
3. Brick, limestone, clapboard, cement board, wood, shingles and stucco are appropriate materials.

SETBACK

1. A new building's setback should conform to the set-back pattern established by the existing block context. If the development standards for the particular zoning district do not allow appropriate setbacks, a variance may be needed.
2. On corner sites, the setbacks from both streets must conform to the context.
3. Structures that are much closer or further from the street than the vast majority of houses in a given block should not be used to determine appropriate setback.

BUILDING ENTRY

Entrances may characteristically be formal or friendly, recessed or flush, grand or common place, narrow or wide. New buildings should reflect a similar sense of entry to that which is expressed by surrounding historic buildings.

SPACING

New construction that reflects and reinforces the spacing found in its block. New construction should maintain the perceived regularity or lack of regularity of spacing on the block.

HEIGHT

1. Generally, the height of a new building should fall within a range set by the highest and lowest contiguous buildings if the block has uniform heights. Uncharacteristically high or low buildings should not be considered when determining the appropriate range.

2. Cornice heights, porch heights and foundation heights in the same block face and opposing block face should be considered when designing new construction.

3. Consider the grade of the lot against the grade of the adjacent sidewalk as well as the grade of the adjacent neighbor.

HEIGHT AND SETBACK

1. A new house of the same height as existing houses may be as close to them as they are to each other.

2. A new house which is taller than the house next to it must be set back further from the side property line than existing houses.

OUTLINE

1. The basic outline of a new building, including general roof shape, should reflect building outlines typical of the area.

2. The outline of new construction should reflect the directional orientations characteristic of the existing building in its context.

MASS

1. The total mass and site coverage of a new building should be consistent with surrounding buildings.

2. The massing of the various parts of a new building should be characteristic of surrounding buildings.

FOUNDATION/FIRST FLOOR ELEVATION

New construction first floor elevation and foundation height should be consistent with contiguous buildings.

FENESTRATION

1. Creative expression with fenestration is not precluded provided the result does not conflict with or draw attention from surrounding historic buildings
2. Windows and doors should be arranged on the building so as not to conflict with the basic fenestration pattern in the area.
3. The basic proportions of glass to solid which is found on surrounding contributing buildings should be reflected in new construction.
4. Window openings should reflect the basic proportionality and directionality of those typically found on surrounding historic buildings.

Staff does not recommend approval of COA 25-16

Demolition: If the historic or architectural significance of a structure in the Garden Hill Historic District is such that, upon further consideration by the Commission, it does not contribute to the historic character of the district, demolition may be approved. The current building at 1101 N Lincoln is not a contributing building in the district. Although it retains some original characteristics, most of its exterior features have been changed for new materials that do not convey the historic appearance.

Materials: The proposed exterior materials including LP siding (provided it does not have an imitation grain), asphalt roof shingles, vinyl windows, fiberglass doors. These materials are considered acceptable by district guidelines.

Setback: Setback on all sides is 15' as per UDO requirements. Some contributing buildings on both 15th Street and Lincoln are set at or behind this setback, while some older buildings that predate the current UDO are closer to the street.

Entry: The small one-story porticos at the entry to each of the units are not dissimilar from some of the smaller porticos in the district. Tucked beside gabled ells, this style of entry does echo older designs in the district.

Height: Generally, the height of a new building should fall within a range set by the highest and lowest contiguous buildings if the block has uniform heights. Uncharacteristically high or low buildings should not be considered when determining the appropriate range. While there is a two-story building across 15th St outside of the district and the houses across Lincoln are set on a higher elevation, the contiguous buildings on E 15th St are one story high

and the buildings on the contiguous block of Lincoln are 1 ½ stories in height. The proposed design is uncharacteristically high for this context.

Height and setback: A new house which is taller than the house next to it must be set back further from the side property line than existing houses. The neighboring houses on 15th Street are each set back approximately 15' from the side property lines facing each other. However, 215 E 15th St is set back 10' from the property line of 1101 N Lincoln, making the distance between the house at 215 E 15th and the proposed build at 1101 N Lincoln 25'.

Mass: The site coverage of 100' x 26' is uncharacteristically long for the district. Situated on a corner lot, the massing as seen from both adjacent streets will have to be taken into account. While the design does attempt to break the massing by differentiating between units, the overall impression is still of a single massive building.

Outline: Taken on their own, the roofline and profiles of individual units reflect the orientation of historic buildings in the district.

Fenestration: The placement of windows and doors presented in the plans is fairly characteristic of the patterns found on surrounding buildings.

While there are many elements of this design that work within the context of the Garden Hill Historic District, the overall height and mass do not meet guidelines. As the applicant has pointed out there are a number of large non-contributing buildings in the district that predate its listing. Provided the height or mass of one of these buildings is not uncharacteristic of the surrounding context the district guidelines offer considerations for relating new adjacent construction to these properties. The context of this corner lot and the adjacent blocks within the district does not include buildings that approach the scale of what has been proposed. Neighborhood comments received do not object to new construction on the lot *per se*, but to the plan currently proposed.



**CITY OF
BLOOMINGTON**

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

INFORMATION ABOUT THE PROPERTY

Address of Property: 1101 N. Lincoln
Parcel Number(s): 53-05-33-202-010.000-005

(OFFICE USE ONLY)

Filing Date: _____
Case Number: _____
HPC Hearing Date: _____

Bloomington Historic District:

- ☐ Courthouse Square Historic District
- ☐ Elm Heights Historic District
- ☐ Fairview Historic District
- ☒ Garden Hill Historic District
- ☐ Greater Prospect Hill Historic District
- ☐ Maple Heights Historic District
- ☐ Matlock Heights Historic District
- ☐ McDoel Historic District
- ☐ Near West Side Historic District
- ☐ Prospect Hill Historic District
- ☐ Restaurant Row Historic District
- ☐ Showers Brothers Furniture Factory Historic District
- ☐ University Courts Historic District
- ☐ Other: _____

RATING (City of Bloomington Survey of Historic Sites and Structures)

- ☐ Outstanding
- ☐ Notable
- ☐ Contributing
- ☒ Non-Contributing

APPLICANT INFORMATION:

Name: Sherri Hillenburg Email: Sherri@1101NLincoln.com
Address: 940 N. Walnut St., Blytn. Phone: 812-327-8745

PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner ☐

Name: 1101 NORTH Lincoln, LLC Email: Rick@Academiedge.com
Address: 940 N. Walnut Street, Blytn. Phone: 812-339-2857

INSTRUCTIONS TO PETITIONERS

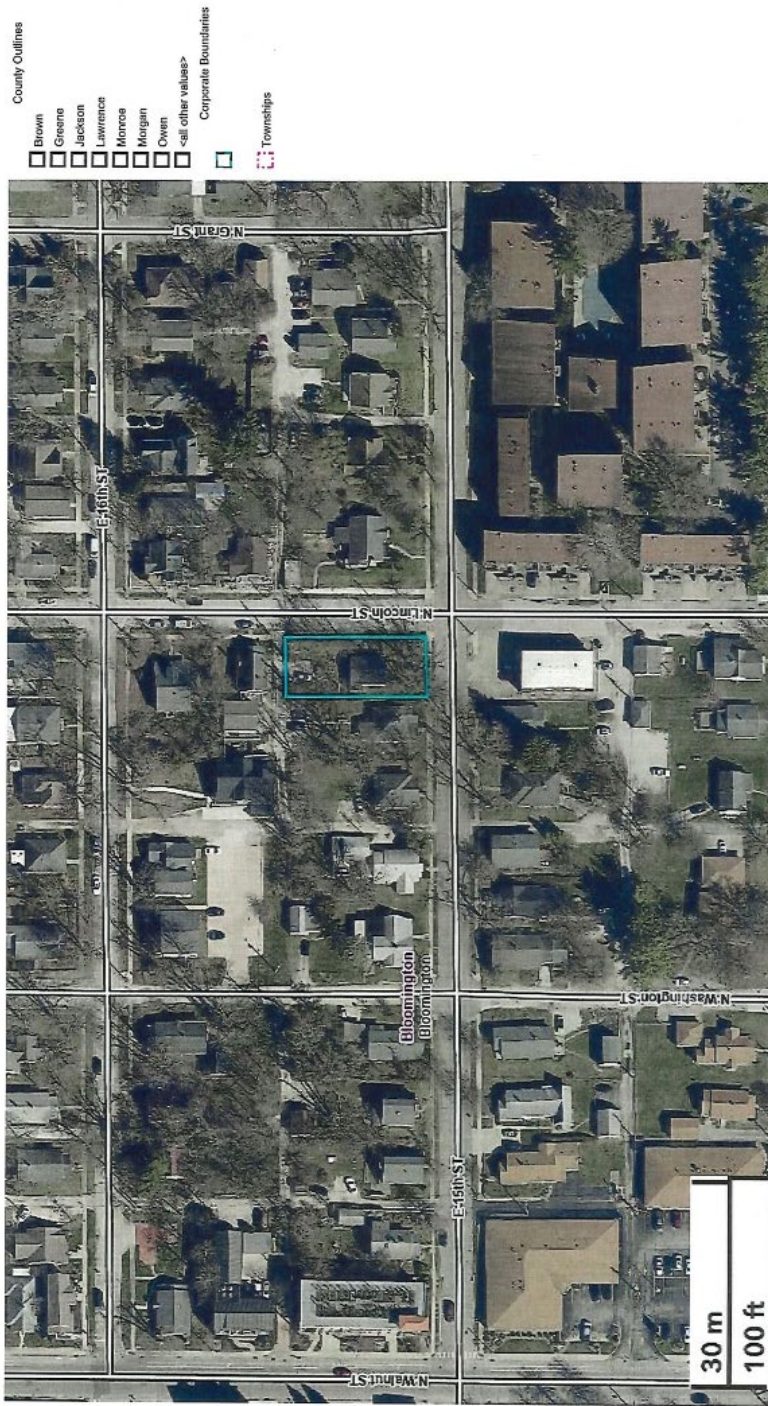
1. No fee is required for submittal.
2. The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. This can be done in person, via the phone, or teleconference.
3. **Application form:** The Bloomington Historic Preservation Map at https://bton.in/M_pUv provides the historic district and historic building survey. You need to open the layers and click on "Historic Sites and Survey" to find the historic ratings which are color coded.
4. Communicate with the Monroe County Building Department and the City of Bloomington's Planning and Transportation Department in order to verify if there are additional requirements.
5. In the historic districts listed on the bottom of the page, the petitioner should contact the historic district construction subcommittee and acquire their feedback as early in the process as possible.
6. The petitioner must file a complete application that includes all of the required documents with Housing and Neighborhood Department Staff no later than fourteen days before a scheduled regular meeting.
7. The petitioner, owner or a delegated representative must attend the Bloomington Historic Preservation Commission (BHPC) Meeting. The BHPC meets the second and fourth Thursday of each month at 5:00 P.M. in a hybrid fashion, at the McCloskey Room (401 N Morton St., Room 135) and via Zoom (with a link to be provided). The petitioner will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to them. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If the petitioner feels uncertain of the merits of the petition, they also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

CHECKLIST OF REQUIRED DOCUMENTS

- ☒ Filled and signed Application for the Certificate of Appropriateness
- ☒ Written description of the nature of the proposal
- ☒ Written description of all of the proposed materials to be used.
- ☒ Between 3 and 5 photographs of the historic site and/or structure before changes.
- ☒ Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction. **(All images must be clear and submitted either in a physical format or as 150-300 dpi jpg, png, or pdf.)**
- ☒ A map of the site with the site boundaries indicated (GIS imagery from sites such as the Elevate Tax Maps at <https://monroein.elevatemaps.io/or> Google Maps (maps.google.com) are acceptable).
In the case that the historic district in which the property is located has a construction subcommittee, it is highly advisable to contact and review your project with said committee before submitting the application. Contact information for the committee representatives is available upon request from the Historic Preservation Program Manager.

- Elm Heights Historic District
- Greater Prospect Hill Historic District
- Matlock Heights Historic District

- McDoel Gardens Historic District
- Near West Side Historic District
- Maple Heights Historic District



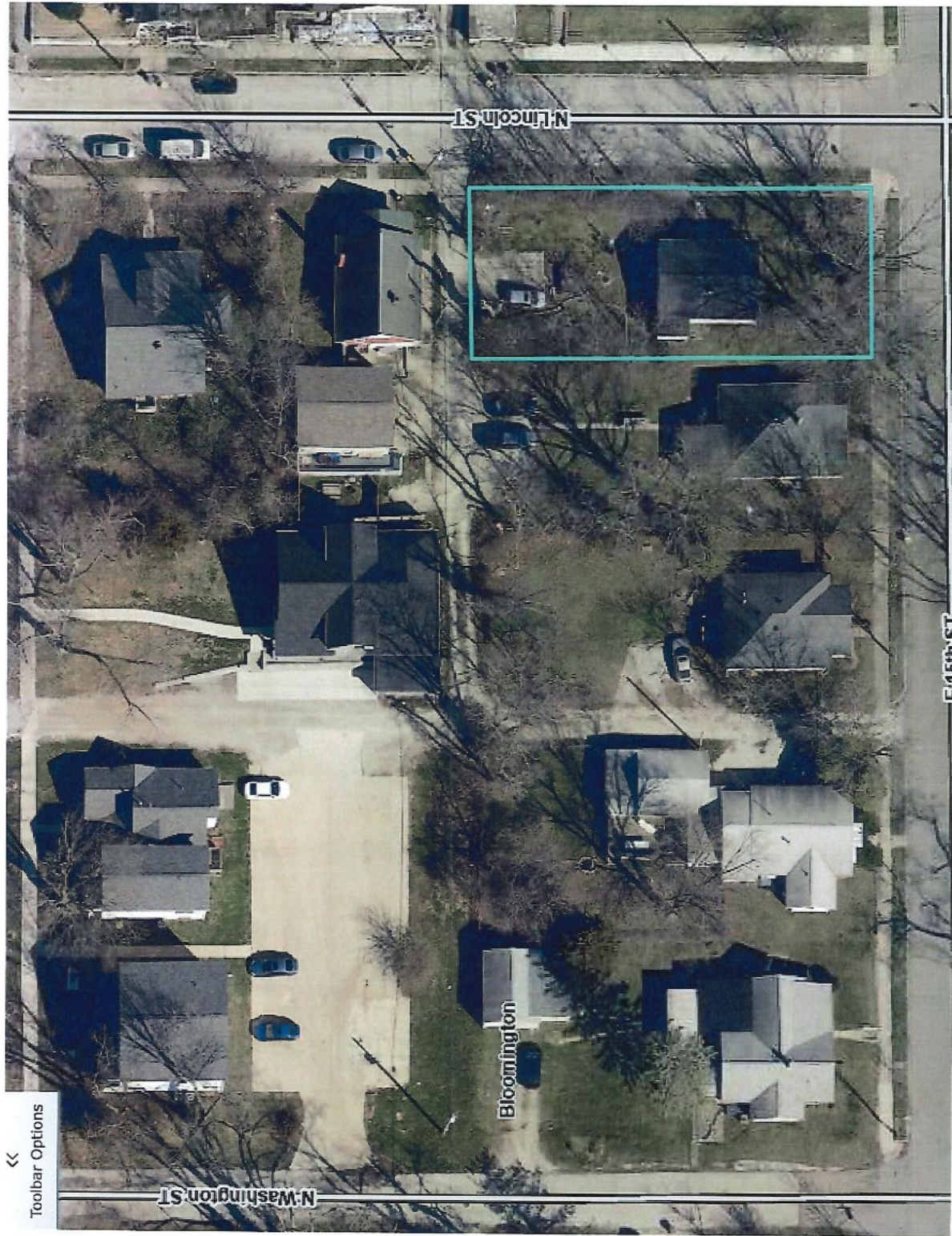
Date created: 3/11/2025

Last Data Uploaded: 3/11/2025 8:50:09 AM

Developed by



<<
Toolbar Options



N Lincoln St

N Washington St

Bloomington

E 4th St

E 5th St



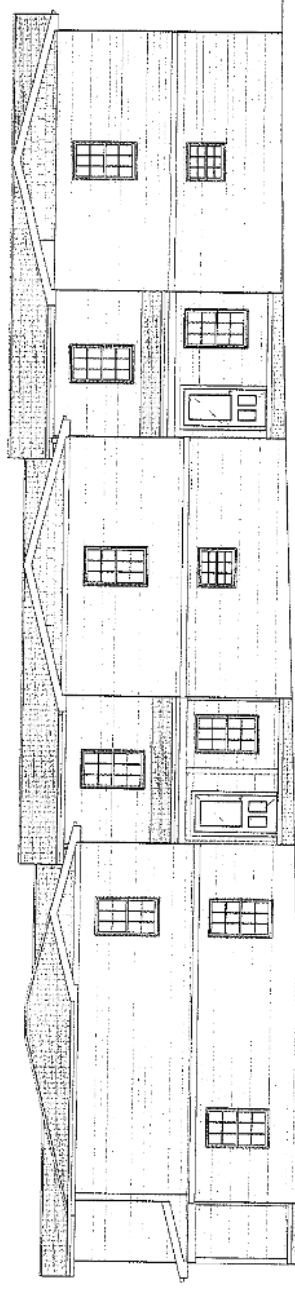
Custom House
811 North Lincoln
www.murphystudio.com

THESE DRAWINGS
ARE NOTED BY AN
ARCHITECT ON
BEHALF OF THE
CONSTRUCTION
SHOULD CONSULT
ENGINEER TO
Determine
DIMENSIONS,
DETAILS, BUILDING
CODES, AND
REQUIREMENTS.

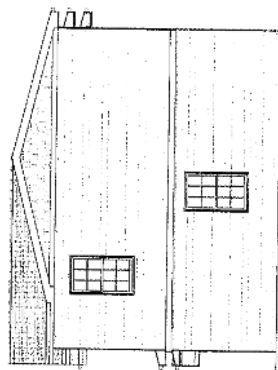
Elevations

1101 North Lincoln LLC

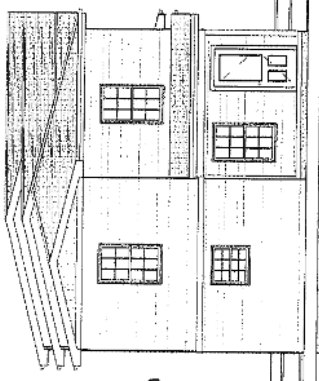
DRAWN BY:
Jarett
Wagler
DATE:
2/27/2025
SHEET:



East Elevation

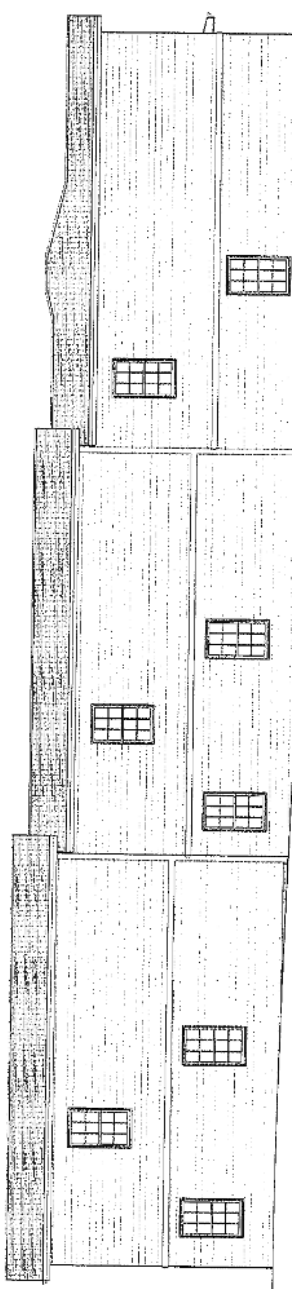


North Elevation




South Elevation

West Elevation



Scale 1/4"=1'



Murphy Design

Chris Huse
 812-259-1832
 chuse@murphydesign.com
 chuse@phall.com

THESE DRAWINGS
 ARE NOT
 TO BE USED BY AN
 ARCHITECT OR
 ENGINEER FOR
 PERMITS, BEFORE
 CONSTRUCTION
 BEGINS. THE
 USER SHOULD CONSULT
 WITH THE ARCHITECT,
 ENGINEER, OR
 OTHER PROFESSIONAL
 BEFORE ANY
 CONSTRUCTION,
 INSTALLATION,
 OR REPAIRS ARE
 MADE. THE USER
 SHALL BE RESPONSIBLE
 FOR OBTAINING ALL
 NECESSARY
 PERMITS AND
 COMPLIANCE WITH
 ALL APPLICABLE
 CODES AND
 REGULATIONS.

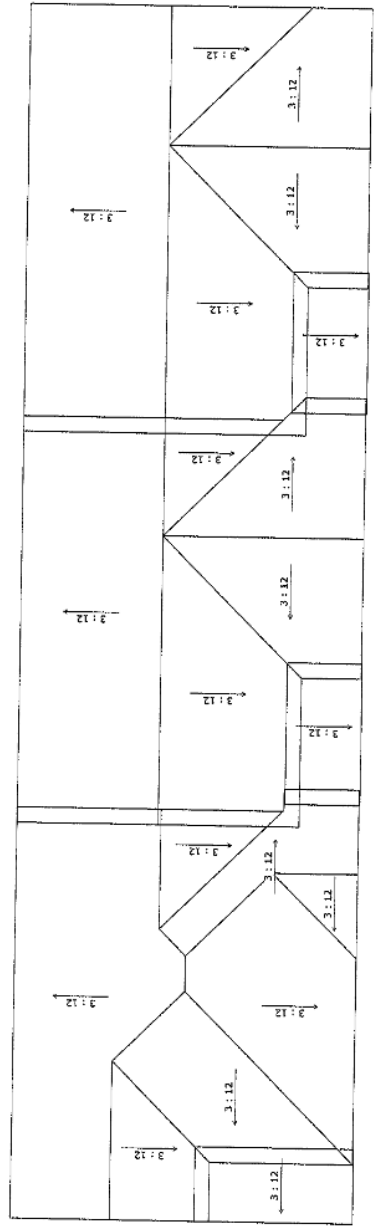
1101 North Lincoln LLC

Roof Plans

DRAWN BY:
 Jarell
 Wagler

DATE:
 2/27/2025

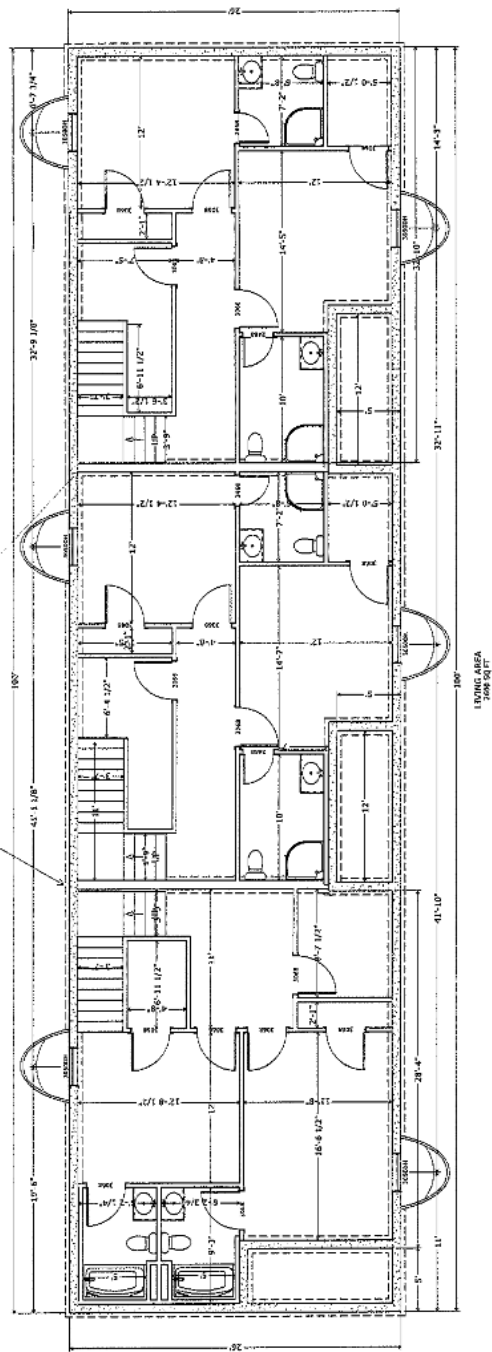
SHEET:
 1



Trusses 24" O.C.
 5/8" OSB Decking
 16" Overhangs

Scale 1/4" = 1'

Parting Walls



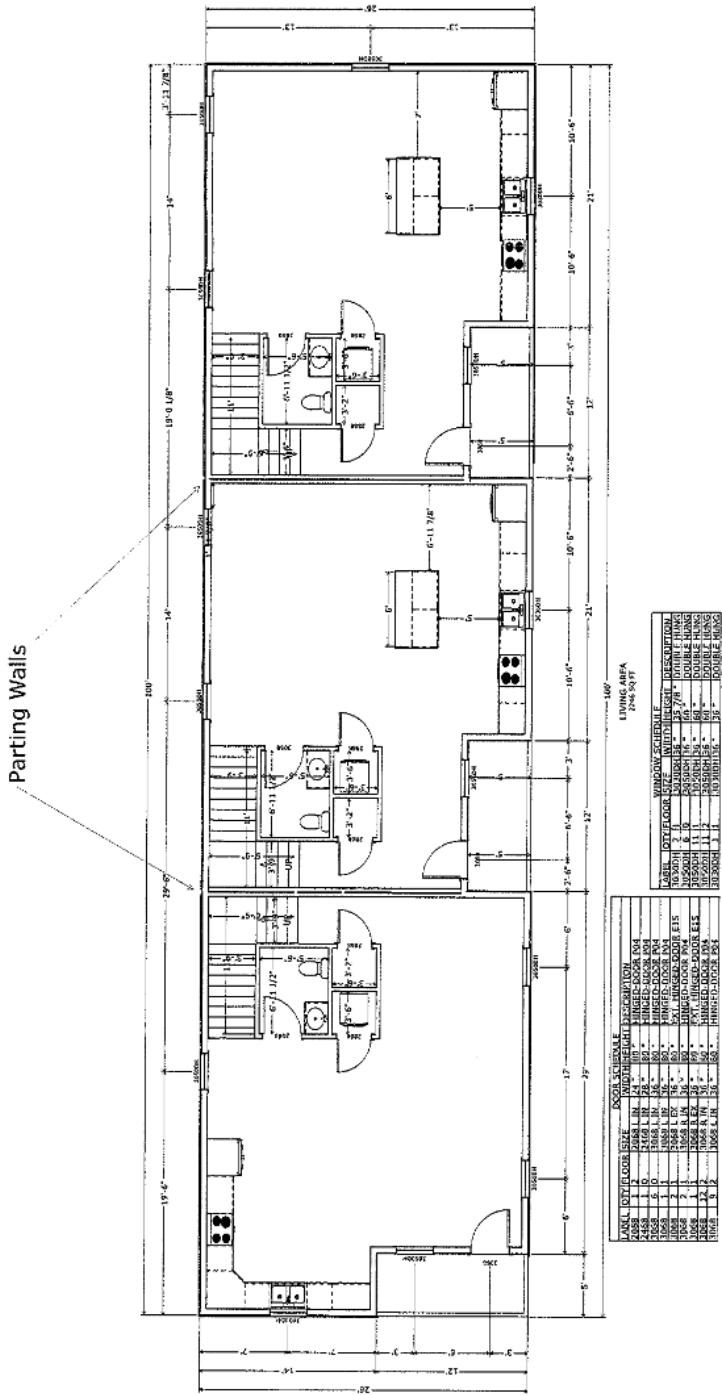
9' Concrete Walls 8" Thick
 Interior Walls 2x4
 Concrete Floor 4" Thick
 Parting Walls Double 2x4 Walls With 1" Between



THESE DRAWINGS ARE NOT TO BE USED OR PRODUCED BY AN ARCHITECT OR ENGINEERING FIRM, BEFORE CONSTRUCTION OF THE PROJECT, WITHOUT THE HOMEOWNER'S WRITTEN CONSENT. THE HOMEOWNER SHOULD CONSULT WITH A CONTRACTOR, ARCHITECT, OR ENGINEER TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, BUILDING CODES, AND GRANT REQUIREMENTS.

1101 North Lincoln LLC

DRAWN BY:	Jarett Wagler	DATE:	2/27/2025	SHEET:
-----------	------------------	-------	-----------	--------



Scale 1/4"=1'

GENERAL NOTES:
EXTERIOR DIMENSIONS ARE TO OUTSIDE OF 2X5 WALL WITH 1/2" OSB
INTERIOR DIMENSIONS ARE TO FRAMED STUD WALL 2X4
EXTERIOR WALLS WITH 2X5 2X4 INTERIOR WALLS
PARTING WALLS DOUBLE 2x4 WALL WITH 1" BETWEEN
WALL HEIGHT HOUSE .5"



Garrett Hester
812-229-1832
murphydesignllc@gmail.com

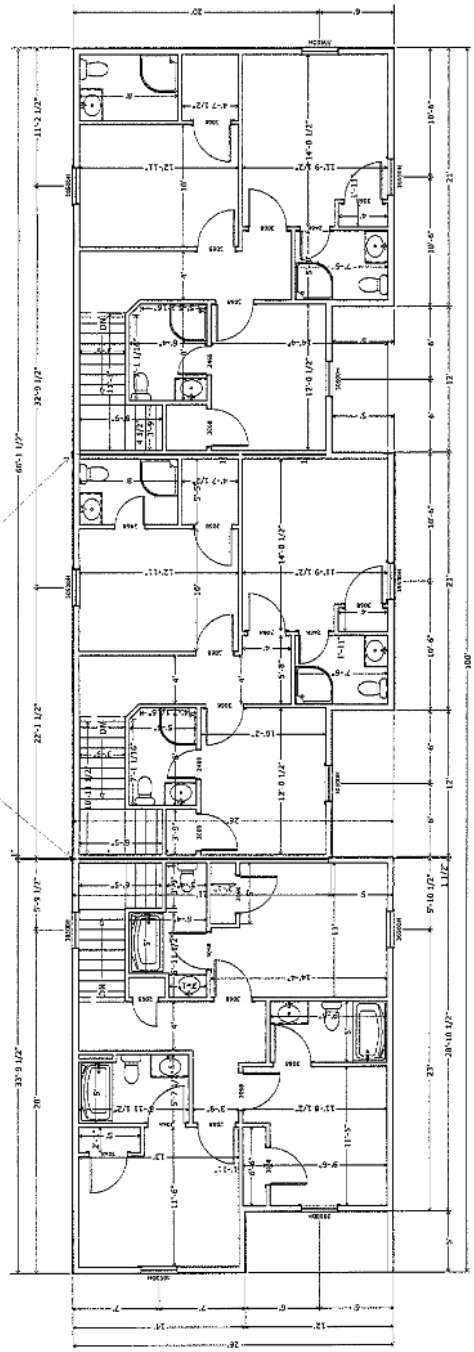
THESE DRAWINGS
ARE NOT
FOR CONSTRUCTION
OR CONSTRUCTION
CONTRACTOR
USE. THEY ARE
FOR INFORMATION
ONLY. THE
CONTRACTOR
SHOULD CONSULT
A CONTRACTOR
FOR ALL
NECESSARY
PERMITS,
APPROVALS,
STRUCTURAL
LOADS, AND
REQUIREMENTS.

2nd Floor

1101 North Lincoln LLC

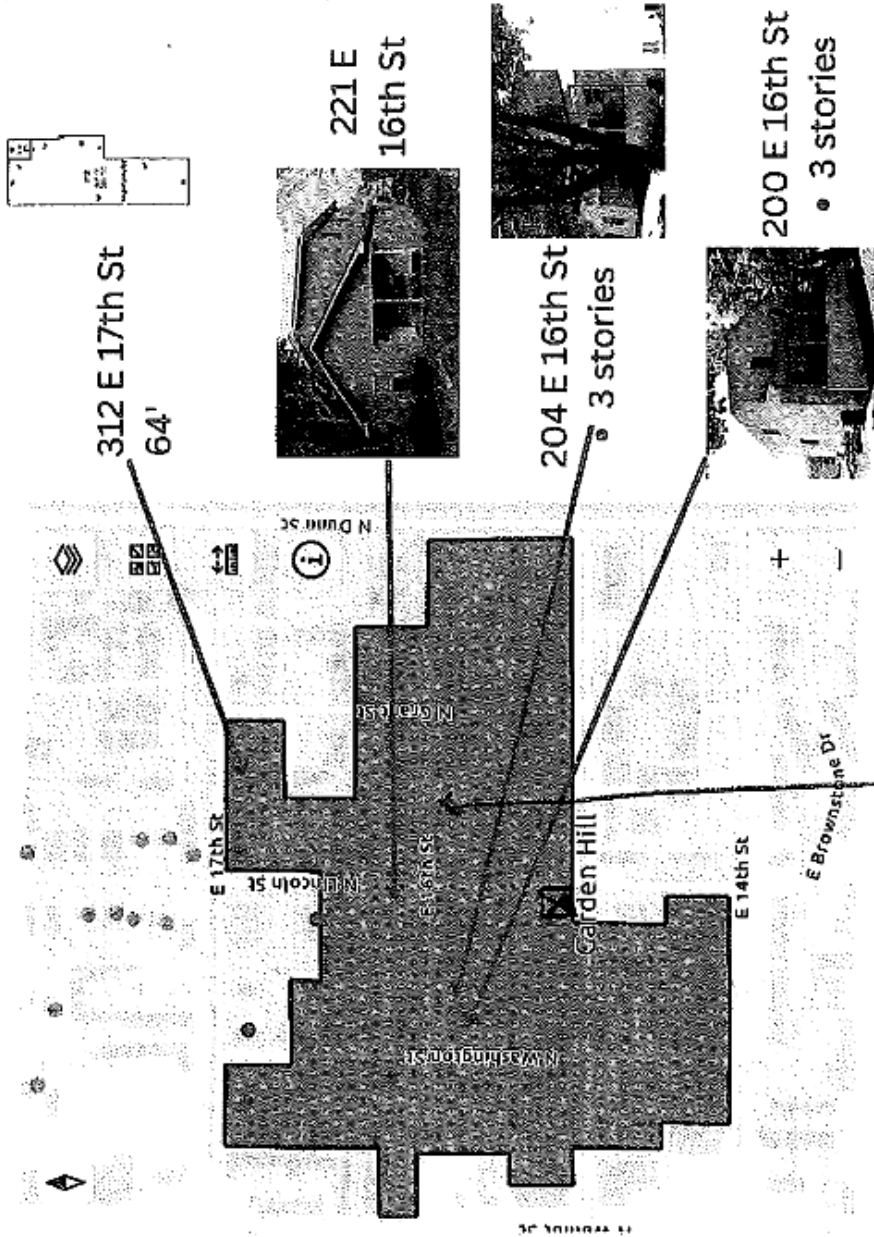
DRAWN BY:
Jarett
Wagler
DATE:
2/27/2025
SHEET:

Parting Wall



Exterior Dimensions Are To Outside OSB
Interior Dimensions Are To Framed Studded Walls
Exterior Walls: 2x6 Interior Walls: 2x4
Wall Height: 8'
Parting Walls Double 2x4 Wall 1" Between

Scale 1/4"=1'



312 E 17th St
64'

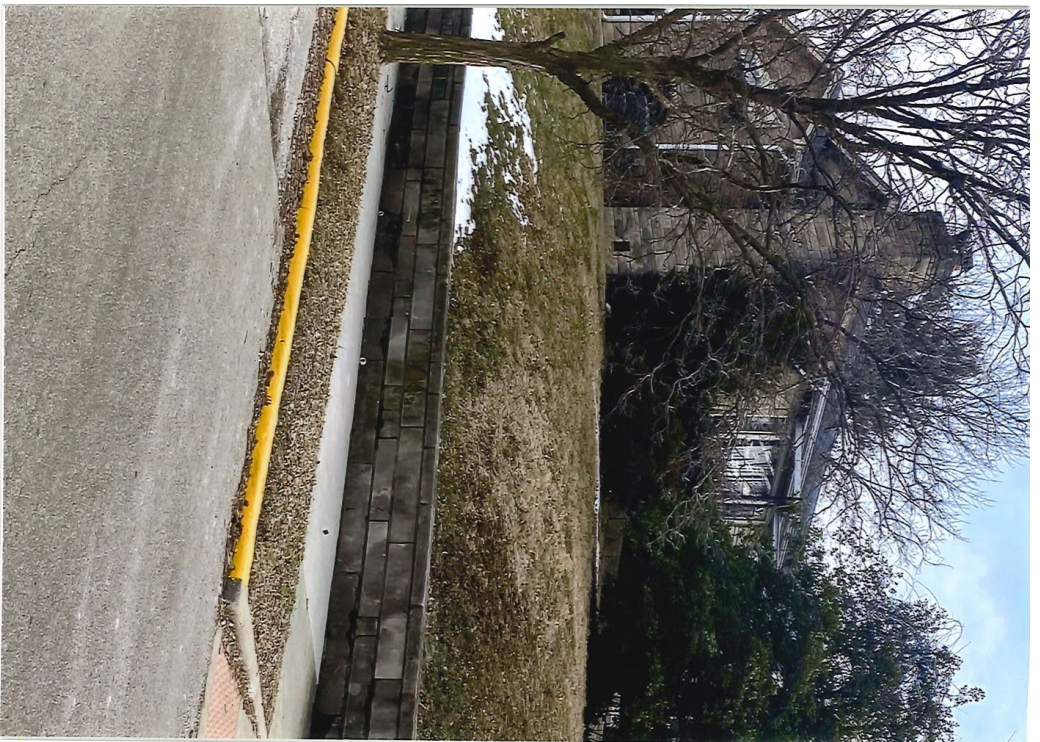
221 E
16th St

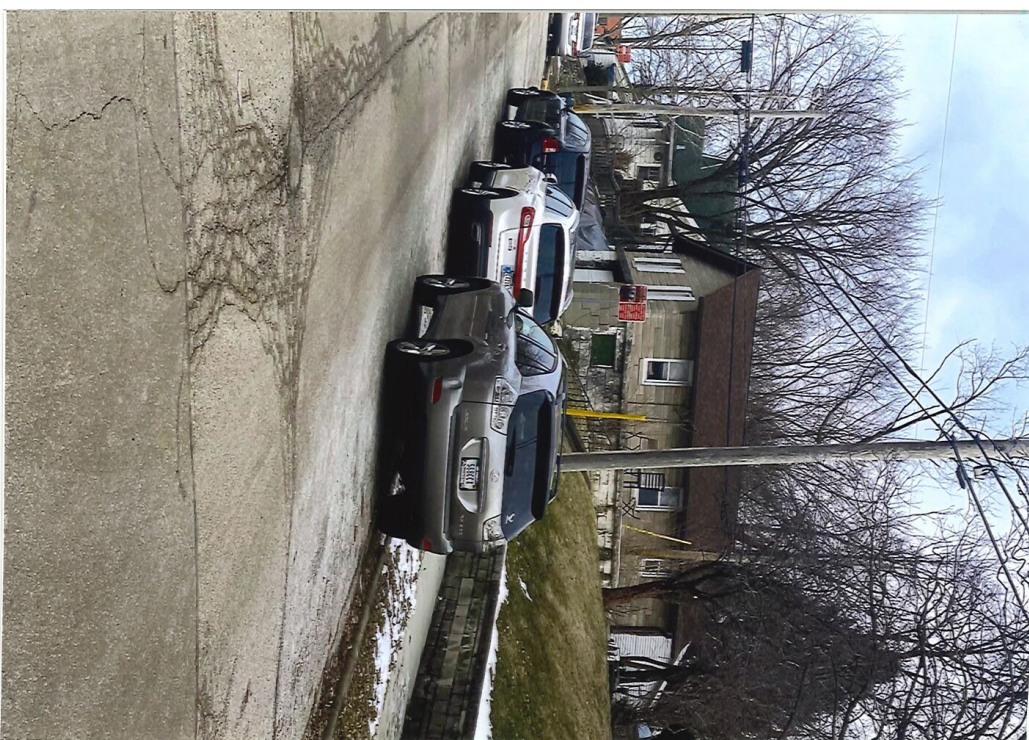
204 E 16th St
• 3 stories

200 E 16th St
• 3 stories

310
E. 16th
2 stories







STAFF RECOMMENDATIONS	Address: 807 W 8th St (Near West Side HD)
COA 25-17	Petitioner: Stephanie Downey
Start Date: 3/24/2025	Parcel: 53-05-32-408-016.000-005
RATING: CONTRIBUTING	c. 1910 Severely altered T-plan cottage



Background:

807 W 8th St is a significantly altered but nevertheless contributing T-Plan cottage in the Near West Side Historic District.

Request:

Proposal

We plan to redo the façade of our house to more closely match what would be appropriate for the original house. Changes include:

- Replace vertical siding with horizontal siding- install vinyl siding (*plan now calls for smooth fiber cement*), outside corners, J channel on front of house, trim out windows

similar to others around the side; Certainteed Main Street Colonial White 5 inch horizontal vinyl siding to match the rest of the house.

- Add 5 inch shake from Royal Siding and a new 1.5 sf louvered attic vent to the gable
- Replace the metal porch post with 6 x6 white turned Douglass Fir posts
- Windows & Trim- replace 2 front windows, one oversized. sill flashing, windows supplied by customer, dispose of old windows (to match the other windows we replaced on the side of the house last summer)
 - o The one facing the porch will be replaced with a Windgate double hung 32x60
 - o The one not facing the porch will be replaced with a Windgate Twin double hung 72x60

S **Stephanie Downey** to me Fri, Mar 28, 11:30 AM (4 days ago) ☆ ↶ ⋮
Hi Noah, we have decided to use fiber cement siding on the facade. Can you look at this material and tell me if its allowed? I'm a little confused about the requirements around "wood grain." This has a wood grain look. Is that allowed with fiber cement?
<https://www.homedepot.com/p/James-Hardie-Hardie-Plank-HZ10-5-25-in-x-144-in-Primed-CedarMill-Fiber-Cement-Lap-Siding-9000626/319849209>

N **Noah Sandweiss** <noah.sandweiss@bloomington.in.gov> to Stephanie Fri, Mar 28, 12:52 PM (4 days ago) ☆ ↶ ⋮
Hi Stephanie,

The preference would be for a smooth option if you can find one. I can't recommend a specific product of course but it does look like home depot offers a smooth variant of this product.

Let me know what you decide to go with.

Best,
Noah

S **Stephanie Downey** to me Fri, Mar 28, 3:16 PM (4 days ago) ☆ ↶ ⋮
OK, thank you. Should I submit a new application with this revision?

N **Noah Sandweiss** <noah.sandweiss@bloomington.in.gov> to Stephanie Fri, Mar 28, 4:01 PM (4 days ago) ☆ ↶ ⋮
You don't have to send in a new application, but do let me know if you have changes so I can include them in the report.

Noah

S **Stephanie Downey** to me
Hi Noah, I've told my contractor I want to use smooth fiber cement like this below. What time is the meeting on April 10 and where? Thank you.
<https://www.homedepot.com/p/James-Hardie-Hardie-Trim-HZ10-0-75-in-x-5-5-in-x-12-ft-Primed-Smooth-Fiber-Cement-Trim-Board-9000046/319800956>

Guidelines: Near West Side HD

SIDING RECOMMENDED

1. Clapboard, fiber cement board, wood, decorative wood shingles, or brick when there is another brick structure on the block.
2. When cement fiber siding such as Hardie board is used to simulate wood clapboard siding, it should reflect the directional and dimensional

characteristics found historically in the neighborhood. Products imitating the “grain” of wood are discouraged.

3. Efforts to maintain original materials are encouraged.

NOT RECOMMENDED

1. Asphalt shingles for walls.

2. Vinyl siding.

3. Siding products that imitate the “grain” of wood.

4. Vertically-oriented siding.

5. Metal siding

PORCHES RECOMMENDED

6. Columns and posts should be an appropriate type for the style of house. For example, turned or square posts. Note that square posts (which historically were handmade) may be especially suitable for the plain-style houses that abound in the neighborhood.

NOT RECOMMENDED

1. Porch elements that use more than one architectural style.

2. Porch elements that differ from the architectural style of the principal structure.

3. Ornamental metal porch columns and railings.

4. Enclosed front porches.

FENESTRATION RECOMMENDED

1. Creative ornamentation with fenestration is not precluded provided the result does not conflict with or draw attention from surrounding historic buildings.

2. Windows and doors should be arranged on the building so as not to conflict with the basic fenestration pattern in the area.

3. The basic proportions and distribution of glass to solid found on surrounding contributing buildings should be reflected in new construction.

4. Window openings should reflect the basic proportionality and directionality of those typically found on surrounding historic buildings.

NOT RECOMMENDED

1. Window openings that conflict with the proportions and directionality of those typically found on surrounding historic buildings.
2. Window pane configurations that conflict with those on surrounding buildings.
3. Certain window types such as casement, jalousie, or Palladian windows that are not traditionally found on surrounding historic buildings.

Staff recommends approval of COA 25-17

807 W 8th St has been significantly altered. Some of the most noticeable exterior changes include the vertical siding on the street-facing façade, changes to windows, and porch elements. The house was likely built with clapboard siding and wooden square or turned posts on the front porch which were typical features of these turn of the century T-Plan cottages. The replacement of the siding on the primary façade with horizontal fiber cement boards and the iron porch posts with turned wood meet district guidelines and are appropriate to the style of the house. The shake siding proposed for the gable and attic vent also meet district guidelines and are complimentary to the house's design.

The current windows on the primary façade are modern replacements, and likely a different size than the originals, which typically would have been tall and narrow. The proposed replacement windows, while larger than the current ones, would not entail a significant change to the house's already altered fenestration. The current window on the ell is 68"w x 44"h and the porch facing window is 28"w x 44" h. Their replacements would be 72" x 60" and 32" x 60" respectively.



Duffy, Karen

to Beth, Stephanie, Sandra, Peter, William, me, Robert, Barb, Robert ▼

Wed, Mar 5, 1:59 PM ☆ ↶ ⋮

Stephanie, thank you for addressing our earlier concern about the siding orientation and for adding your other proposed changes to your drawings. Your full proposal meets our guidelines, and you are ready to contact Noah Sandweiss, the City's Historic Preservation Program Manager for your next step. You can email him (he's cc'd on this message) or call him at 812-3493420 for an appointment.

Karen



Bloomington Historic Preservation Commission

APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

INFORMATION ABOUT THE PROPERTY

Address of Property: 807 West 8th Street

Parcel Number(s):

(OFFICE USE ONLY)

Filing Date:

Case Number:

HPC Hearing Date:

Bloomington Historic District:

- ☐ Courthouse Square Historic District
- ☐ Elm Heights Historic District
- ☐ Fairview Historic District
- ☐ Garden Hill Historic District
- ☐ Greater Prospect Hill Historic District
- ☐ Maple Heights Historic District
- ☐ Matlock Heights Historic District
- ☐ McDoel Historic District
- ☒ Near West Side Historic District
- ☐ Prospect Hill Historic District
- ☐ Restaurant Row Historic District
- ☐ Showers Brothers Furniture Factory Historic District
- ☐ University Courts Historic District
- ☐ Other:

RATING (City of Bloomington Survey of Historic Sites and Structures)

- ☐ Outstanding
- ☐ Notable
- ☒ Contributing
- ☐ Non-Contributing

APPLICANT INFORMATION:

Name: Stephanie Downey Email: brooklyn_1989@yahoo.com

Address: 807 West 8th Street, Bloomington, IN 47404 Phone: 917-334-7956

PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner ☒

Name: Email:

Address: Phone:

PROPOSED WORK (Check all that Apply):

- ☐ New construction
 - ☐ Principal building
 - ☐ Accessory building or structure
 - ☐ Addition to existing building
- ☐ Demolition
 - ☐ Full Demolition
 - ☐ Partial Demolition
- ☐ Moving a building
- ☒ Alterations to the façade or exterior spaces of the property
 - ☒ Window replacement
 - ☐ Door replacement
 - ☒ Siding
 - ☐ Roof material
 - ☐ Foundation
 - ☐ Other façade element: porch posts
- ☐ New Signage
- ☐ Alterations to the yard
 - ☐ Alteration to fences, walls
 - ☐ Tree removal
- ☐ Other(s): _____

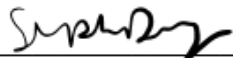
ADDITIONAL REQUIRED DOCUMENTS

- ☐ Written description of the nature of the proposal.
- ☐ Written description of all of the proposed materials to be used.
- ☐ Between 3 and 5 photographs of the historic site and/or structure before changes.
- ☐ Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- ☐ A map of the site with the site boundaries indicated.

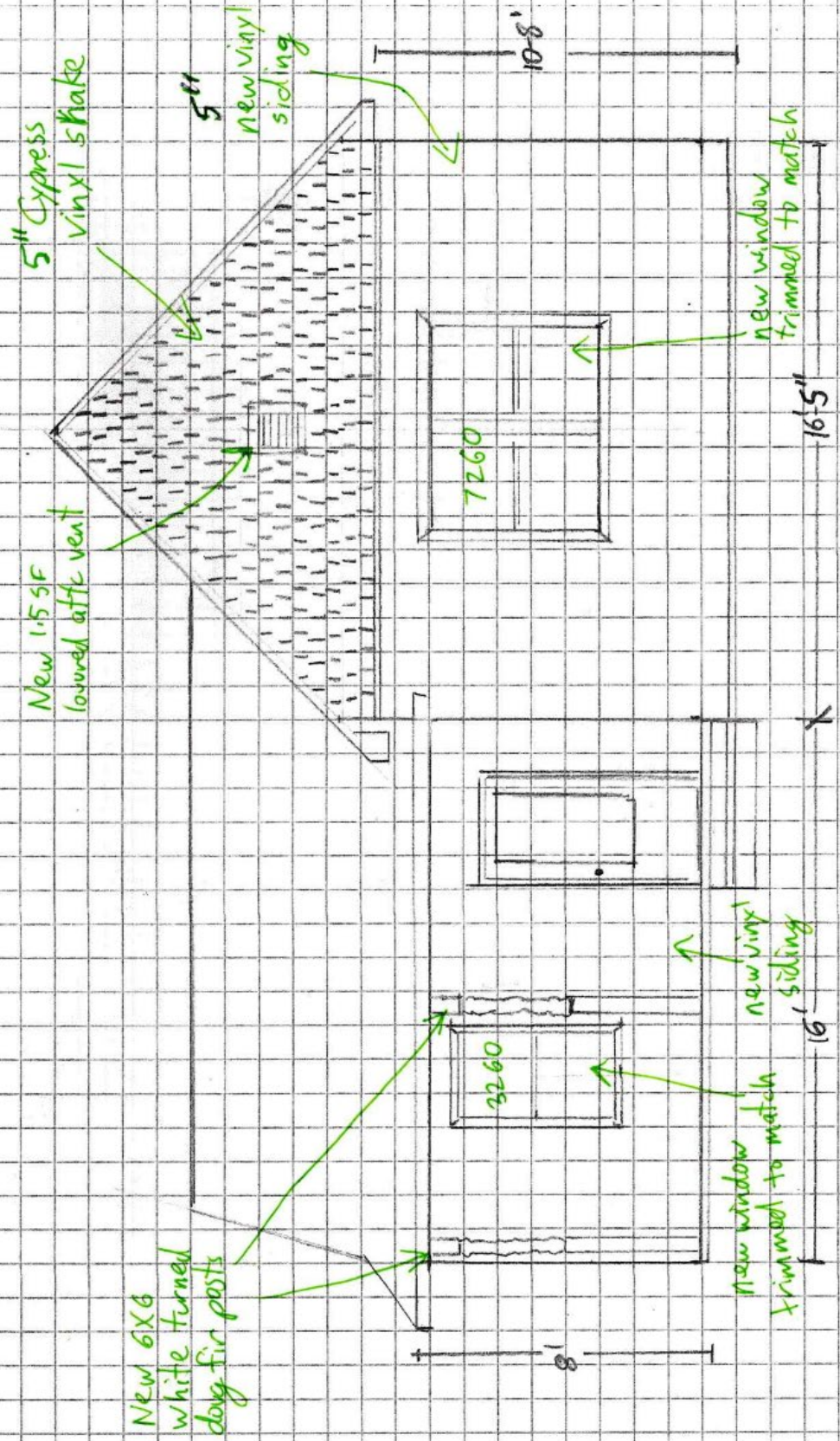
CERTIFICATION

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant's Signature:  Date: March 19, 2025

1/4 scale
DOWNEY
807 W. 8th St.







DOUBLE-HUNG



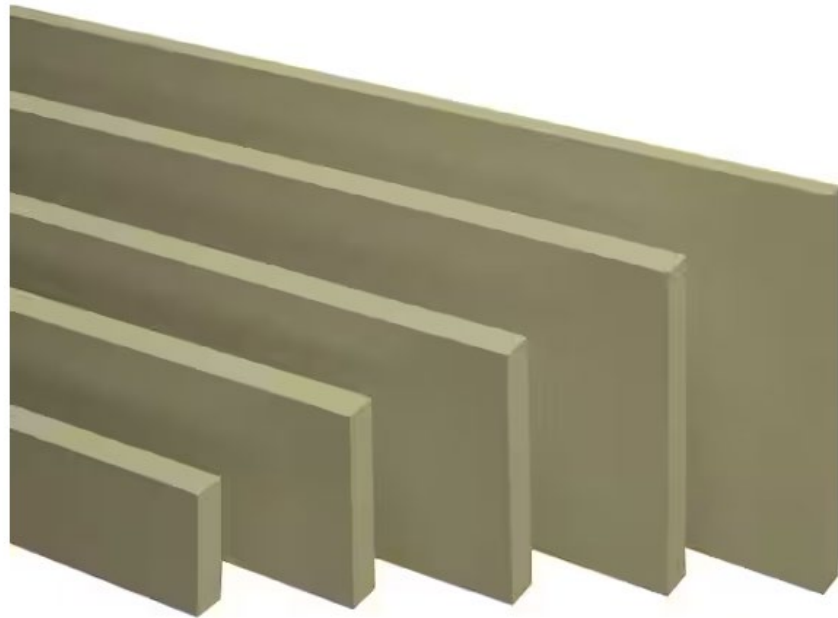
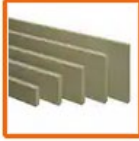
WINDOW FEATURES:

- Cam lock action that draws sashes closer together for positive lock
 - Interlocking Meeting Rail: Integral interlock provides additional security
 - Heavy walled PVC framing acts as a natural insulator
 - Closed-cell compression seal at sloped sill resists air and water penetration
 - Fin-Seal weather stripping at sill further reduces air infiltration
 - 3/4 " insulation glass provides optimum energy efficiency
 - Dual hollows at lift rail add strength and insulation
 - **Innovative®** (low E) high-performance glass utilizes low E coating specifically engineered to meet local requirements
 - "Warm Edge" low conductance spacer resists energy flow through the edge of the glass
 - Rigid leg on sill prevents "screen rattle" even on windy days
 - Integral track system allowing for effortless fingertip operation
 - Both sashes tilt in for easy cleaning
 - Independent weep chambers on frame assume effective water run-off
 - Double strength glass is standard
 - Three layers of weather stripping is standard on all sashes
 - Full lift rails for ease of operation
-

James Hardie

Hardie Trim HZ10 0.75 in. x 5.5 in. x 12 ft. Primed Smooth Fiber Cement Trim Board

★★★★★ (1) Questions & Answers (4)



Hover Image to Zoom

STAFF RECOMMENDATIONS	Address: 324 S Rogers St (Prospect Hill HD)
COA 25-20	Petitioner: Jamie Galvan
Start Date: 3/26/2025	Parcel: 53-08-05-102-039.000-009
RATING: CONTRIBUTING	c. 1900 Free Classical



Background:

324 S Rogers St is a turn-of-the-century two story free classical house designed by Bloomington architect John Nichols. In 2019 the Bloomington Historic Preservation Commission approved the removal of aluminum siding and addition of a balcony on the north gable with the condition of Staff approval prior to the removal of any decorative detail that may be found under the aluminum siding (COA 19-48). The work proposed in COA 19-48 has not yet been undertaken, and the COA expired after two years in October 2021. Work approved in an earlier 2019 application including the addition of a shed dormer on the west elevation and several sun tubes had been completed however. In November 2024, the house was damaged in a fire causing substantial damage to the interior as well as windows, doors, and siding.

Request:

2. A description of the nature of the proposed modifications or new construction:

- Remove aluminum siding on home, east and south facing gables detail will remain.
- Rebuild (remove and replace due to fire damage) chimney on east side of home.
- Balcony to north gable as per committee suggestion (previously approved by committee).
- Replace skylights (due to fire damage) previously approved by committee.
- Replace windows (due to fire damage), to remain same size and configuration (double hung, no lites)
- Color to remain as current (white) until (color and color design changed proposed, later date).

3. A description of the materials used.

- windows and doors to be wood or wood clad. Window/doors/siding replacement style to mimic original style
- Original siding restored where possible. replication of original siding exposure and design.
- none repairable siding replacement to be LB wood siding installed to copy original siding exposed.

Guidelines: Prospect Hill HD

BUILDING MATERIALS

Paint color and exterior finish materials give a building distinct texture, presentation and character. Alterations to buildings and structures should take into consideration the careful balance that is achieved through selection of building materials.

WOOD

Appropriate

Retain and restore original exterior wood siding materials (typically clapboard) through repair, cleaning, painting, and routine maintenance. If original architectural details and trim features are deteriorated beyond repair, they should be replaced with components of the same material and design.

Inappropriate

Avoid application of siding materials not consistent with the character or style of the building, or materials that were unavailable at the time the building was constructed.

SYNTHETIC SIDING

Appropriate

Use metal or vinyl siding only when it is the only feasible alternative to maintaining or replacing the original surface material. If synthetic siding must be used over wood surfaces, it shall be the same size and style as the original wood. Retain original trim around windows, doors, cornices, gables, eaves and other architectural features. Provide ample ventilation to the

structure in order to prevent increased deterioration of the structure due to moisture entrapment or insect infestation.

Inappropriate

Avoid any use of synthetic siding if at all possible; it is detrimental to the original structure and the historic character of the neighborhood

WINDOWS AND DOORS

Appropriate

Original windows and doors and their characteristic elements including sashes, lintels, sills, shutters, transoms, pediments, molding, hardware, muntins, and decorative glass should be retained and repaired rather than replaced. If original windows and doors are deteriorated beyond repair, replacements should duplicate the original in size and scale. Design, material, color, and texture should be duplicated as faithfully as possible.

Inappropriate

If original windows, doors, and hardware can be restored and reused in place, they should not be replaced. Inappropriate treatments of windows and doors include (a) creation of new window or door openings, (b) changes in the scale or proportion of existing openings, introduction of inappropriate styles or materials such as vinyl or aluminum or insulated steel replacement doors, and (d) addition of cosmetic detailing that creates a style or appearance that the original building never exhibited.

NEW CONSTRUCTION OR RECONSTRUCTION OF PORCHES

Appropriate

Reconstruct missing porches based on photographs, written documentation or existing physical evidence of their existence. Reconstructed porches must conform to present zoning setback requirements. In the absence of documented or physical evidence, reconstructed porches should be simple in design and ornamentation, following the guidelines for new construction.

Inappropriate

Enclosed front porches and decks that are visible from public view are inappropriate.

BUILDING RHYTHMS

Appropriate

Incorporate into new construction the rhythms established by existing buildings. Consider the window-to-wall area or solid/void ratio, bay division,

proportion of openings, entrance and porch projections, space between buildings, and site coverage.

Inappropriate

Avoid designs for new construction that ignore the rhythms of the existing environment and buildings.

BUILDING MATERIALS

Appropriate

Use materials on the exterior of new construction that are compatible with those existing on adjacent buildings in scale, type, texture, size, and color. Exterior finishes should harmonize with and complement existing finishes along the streetscape.

Inappropriate

Avoid use of inappropriate materials such as asphalt shingle, aluminum or vinyl sidings, cast stone, or artificial brick.

DESIGN CONSIDERATIONS

Appropriate

Additions should be compatible to the original building in height, scale, mass, proportion, and materials. Roof form and style should be similar to those found in the neighborhood. Design guidelines for new construction are applicable for additions.

Inappropriate

Avoid additions that add new dimensions or radically change the original scale and architectural character of a building.

Staff recommends conditional approval of COA 25-17 with Staff approval prior to the removal of any decorative detail that may be found under the aluminum siding

This proposal includes the addition of a balcony that had been previously approved by the Commission. The rest of the application concerns necessary repairs which would restore historic features damaged in the 2024 fire. Design guidelines recommending against synthetic siding refer explicitly to vinyl and aluminum siding applied over clapboard which could damage original materials and create a non-historic appearance. Historic siding details hidden under the aluminum siding may not be determined until they are revealed, but considering the urgent need to reside the house these features may need to be addressed as they are uncovered. Staff review of replacement doors may be necessary to confirm their match to originals.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A “Complete Application” consists of the following:

1. A legal description of the lot. 015-24243-00 Prospect Hill Lot 7
2. A description of the nature of the proposed modifications or new construction:
 - Remove aluminum siding on home, east and south facing gables detail will remain.
 - Rebuild (remove and replace due to fire damage) chimney on east side of home.
 - Balcony to north gable as per committee suggestion (previously approved by committee).
 - Replace skylights (due to fire damage) previously approved by committee.
 - Replace windows (due to fire damage), to remain same size and configuration (double hung, no lites)
 - Color to remain as current (white) until (color and color design changed proposed, later date).
3. A description of the materials used.
 - windows and doors to be wood or wood clad. Window/doors/siding replacement style to mimic original style
 - Original siding restored where possible. replication of original siding exposure and design.
 - none repairable siding replacement to be LB wood siding installed to copy original siding exposed.
4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.
5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.
6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

324 South Rogers Street Certification of Appropriateness Request



Current view – front of house



South side



Rear and north side

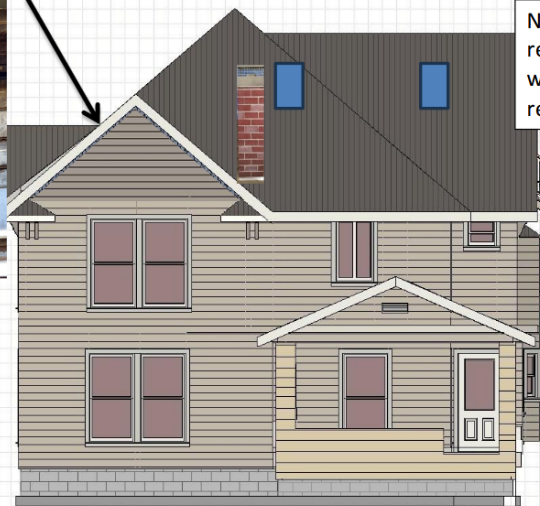
3



As per committee suggestion, Restore gable to original siding/shingle as located under aluminum siding. The east and south gable will restore decorative detail exposed after fire decay creating clean visual transition to historically accurate to the home

Front view of house

Scale: each sq \approx 1 ft



New siding to be LP wood board with reveal equal to original exposure where required. Original siding restored where possible.

As per committee suggestion, Add Sky lighting

4

Scale: each sq = 1 ft



Southside view of house



As per committee suggestion, Add Sky lighting

As per committee suggestion, Restore south gable to original siding/shingle as located under aluminum siding.

New siding to be LP or wood board with reveal equal to original exposure.

5

Scale: each sq \approx 1 ft

Rear view of house



6

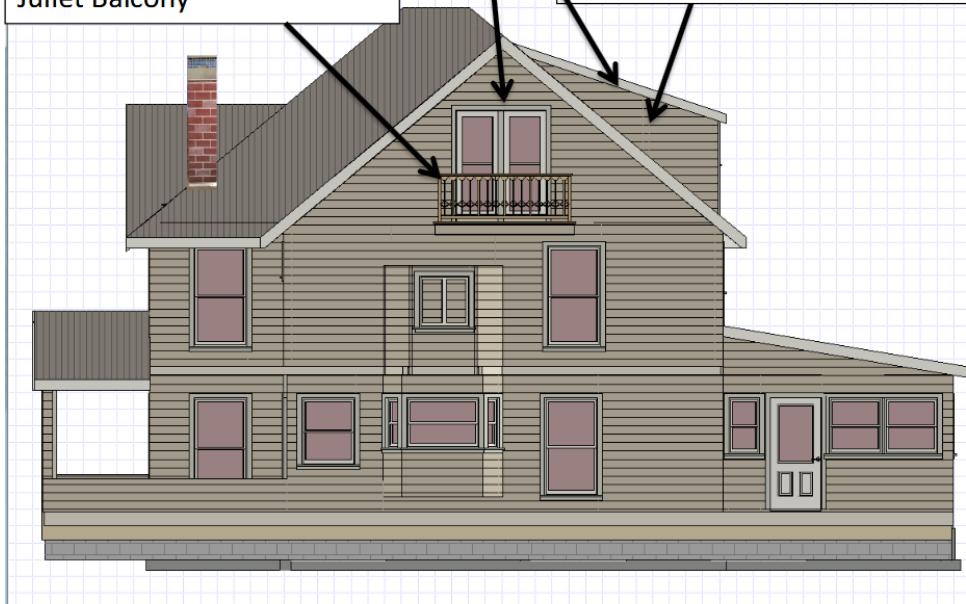
Scale: each sq \approx 1 ft

Northside view of house

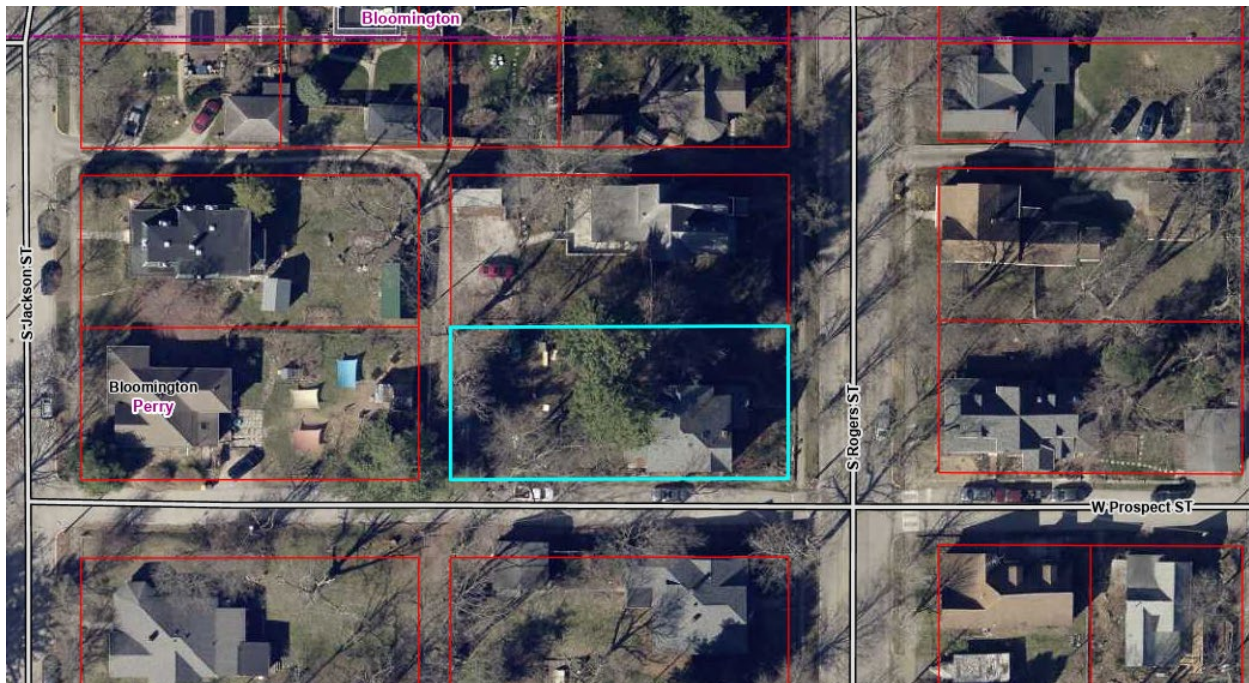
Dual door access to balcony which mimics large window format of home.

As per committee suggestion- add Romeo and Juliet Balcony

Siding to be LP or wood board with reveal to match original siding as located under aluminum siding of the front gable.



7



COA: 19-48

Address: 324 S. Rogers Street

Petitioner: Jaime Galvan

Parcel #: 53-08-05-102-039.000-009

Rating: Contributing

Structure; Free Classic Queen Anne c. 1890



Background: This home is one of five in Prospect Hill Historic District designed by Bloomington architect John Nichols. The petitioner, Jaime Galvan, was denied a COA at the 8-8-19 HPC meeting where he was given feedback on the appropriateness of the request. He was asked to break the larger project into smaller COA applications and return at later dates.

Request: Several alterations to the exterior of the home. (See packet for specifications and materials.)

1. Remove aluminum siding and restore original siding on east and south gables.
2. Add shed dormer to west elevation (rear).
3. Add sun tubes to roof. Three on east elevation (front); two on south elevation; two on west elevation (rear).
4. Add small balcony to north gable as per HPC suggestion at 8-8-19 meeting.

Guidelines: Immediately following staff report in the Packet.

1. Prospect Hill Historic District Design Guidelines, pg. 13, 21, 22
2. Secretary of the Interiors Standards for Rehabilitation.

COA: 19-48

Recommendation: Staff recommends **APPROVAL** of COA 19-48 with the following conclusions:

1. *Remove aluminum siding on east and south gables. Install new wood or cement board siding to match exposure of the original.* This action is compatible with the SOI Standards for Rehabilitation #6 which states that “Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence”. In this case, the exposure of the replacement siding will be match the original found underneath the current aluminum siding. Staff asks that the petitioner assess the condition of the original wood siding once it is exposed and repair or selectively replace where needed rather than replace all of the original siding by default.
2. *Add shed dormer to the west elevation.* Houses have traditionally grown to the rear and staff finds that this addition is appropriately scaled and necessary for the petitioner to utilize the attic as living space. It does not impact the historic character of the house as seen from Rogers Street.
3. *Add sun tubes to roof. Three on east elevation (front); two on south elevation; two on west elevation (rear).* The sun tubes will allow light into the attic living space without the need to create more windows. The tubes can be removed in the future and their installation does not remove or destroy any distinctive features.
4. *Add small balcony to north elevation.* The HPC indicated to the petitioner at the 8-8-19 meeting that a smaller balcony would be acceptable on the north gable. The petitioner has reduced the balcony width from 12’ to 8’.

Commission Review

A. COA 19-48

324 S. Rogers Street (Prospect Hill Historic District)

Petitioner: Jaime Galvan

Remove aluminum siding and restore original siding on east and south gables where possible. Add small balcony to north gable.

Conor Herterich gave presentation (see packet for further details). Staff recommends approval with these findings: (1) Remove aluminum siding and restore/replace siding to match original; (2). Small balcony on north elevation is appropriately scaled, as previously requested by HPC.

Jaime Galvan, Petitioner—I intend to keep what siding I can. Damaged siding will be replaced. Balcony size will match where the support beams are on the house.

Commissioner Questions

Duncan Campbell—Clarification on siding under gable, will aluminum remain below this? **Conor Herterich**—Yes.

Chris Sturbaum—Why take siding off gables? Water will get in. **Petitioner**—Inside of the gables will be built in and will need insulation and extra framing to support gable. Add decking on outside and moisture/air barrier. Water will not penetrate.

Doug Bruce—Question for Staff: We don't have say over things he's not touching, e.g. aluminum siding that is not slated for removal at this time? **Conor Herterich**—We can't demand that he replace all siding at one time. The question we have to ask is "is it appropriate to remove the aluminum siding?"

Sam DeSollar—Balcony is deep enough to occupy, so how will it be attached to structure? **Petitioner**—will be cantilevered to two loadbearing walls 6-8 feet inside. Inconspicuous metal railing, wood decking.

Commissioner Comments

Duncan Campbell—Significant structure because it's a John Nichols home. I believe it's the last one in Bloomington that hasn't yet been remodeled on the outside.

Chris Sturbaum—May be decorative patterns hiding in gable ends; important to replicate. Will likely find 90%+ siding that can be saved.

Jenny Southern—Suggest we approve with condition that any decorative details found will need to be Staff approved before removal. Balcony railing, I recommend staying as simple as possible.

Doug Bruce—Appreciate that Petitioner is willing to save and use wood siding.

Sam DeSollar—Concerned about structure of balcony. Water may come in where you cut a hole in the house for cantilever. Suggest hanging it from outside.

Jeff Goldin—Appreciate Petitioner's efforts and his willingness to work with HPC.

Chris Sturbaum—Metal balcony would be an option, anchored to side of house.

Duncan Campbell—Balcony has to look like what is presented here, this is not a carte blanche.

Deb Hutton made a motion to approve COA 19-48, 324 S. Rogers Street, with caveat of Staff approval prior to removal of any decorative detail that may be found under aluminum siding. **Doug Bruce** seconded. **Motion carried 7-0-0** (Yes-No-Abstain).

CERTIFICATE OF APPROPRIATENESS

Issued by the Bloomington Historic Preservation Commission

Address of Historic Property:

324 S. Rogers Street
Bloomington, IN

Summary of Work Approved:

Remove aluminum siding and restore original siding on east and south gables where possible. If siding is found to have decorative elements, those elements will be preserved or replicated. Addition of balcony to the north gable.

A copy of the complete approved plans may be obtained from the Department of Housing and Neighborhood Development Office located at City Hall, 401 N. Morton Street, Suite 130 under case number **19-48**.

This Certificate is effective for two years following the date of issue. Exterior work outside of the scope of this approval is not permitted and subject to fines outlined in Municipal Code, Title 8, Chapter 8.16.020.



Conor Herterich,
Historic Preservation Program Manager

STAFF RECOMMENDATIONS	Address: 702 W Kirkwood Ave (Near West Side HD)
COA 25-21	Petitioner: Simon Ladd
Start Date: 3/27/2025	Parcel: 53-05-32-415-006.000-005
RATING: CONTRIBUTING	c. 1895 Slightly altered T-plan cottage



Background: 702 W Kirkwood is a slightly altered T-plan cottage with a five-sided ell. In 2025 the owner removed four wood-framed double-hung windows on the front-facing ell and replaced them with double-hung divided light vinyl windows topped with transom lights. The application for a retroactive COA is in response to Notice of Violation 25-02. New trim has not yet been installed.

Request:

"To whom it may concern,

The materials used to repair windows at 702 W Kirkwood Ave were windows and cedar and pine wood.

The measurements of the old windows are 30 x 80

The new windows are 35 ½ x 65 1/2

The headers on the new windows are 4 ½

New sills were installed.

The transoms were installed to keep the original height. The transom measurements are 30 x 14.”

Guidelines: Near West Side HD

FENESTRATION

RECOMMENDED

1. Creative ornamentation with fenestration is not precluded provided the result does not conflict with or draw attention from surrounding historic buildings.
2. Windows and doors should be arranged on the building so as not to conflict with the basic fenestration pattern in the area.
3. The basic proportions and distribution of glass to solid found on surrounding contributing buildings should be reflected in new construction.
4. Window openings should reflect the basic proportionality and directionality of those typically found on surrounding historic buildings.

NOT RECOMMENDED

1. Window openings that conflict with the proportions and directionality of those typically found on surrounding historic buildings.
2. Window pane configurations that conflict with those on surrounding buildings.
3. Certain window types such as casement, jalousie, or Palladian windows that are not traditionally found on surrounding historic buildings.

Staff is conflicted on COA 25-21

The two changes to consider in this case are the removal of historic materials and the changes to the configuration of the window openings. In the Near West Side Historic District, the replacement of windows and doors with the same size, configuration, and operation is generally exempt from review unless it entails the removal of particularly significant historic materials. In this case the previous wood windows, while likely original or at least very old judging from their size and materials, have a fairly simple and replicable appearance.

With transoms included, the new windows that have been installed come close in size to the historic windows which still exist elsewhere in the building, and the arrangement and proportions of fenestration is not

significantly changed. Transom lights are a common feature of turn-of-the-century doors in the Near West Side, but much less typical of windows. Some unusual examples can be found at 607 W Kirkwood, 514 W Kirkwood, and over some larger windows on more elaborate houses.

In staff opinion, the main point of consideration is the extent to which the replacement window pane configuration conflicts with surrounding buildings.



CITY OF
BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

#130

Noah Sandweiss

Bloomington Historic Preservation Commission

APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

INFORMATION ABOUT THE PROPERTY

Address of Property: 702 W. Kirkwood Ave

Parcel Number(s): 53-05-32-415-006.000-

005

(OFFICE USE ONLY)

Filing Date: _____

Case Number: _____

HPC Hearing Date: _____

Bloomington Historic District:

- ☐ Courthouse Square Historic District
- ☐ Elm Heights Historic District
- ☐ Fairview Historic District
- ☐ Garden Hill Historic District
- ☐ Greater Prospect Hill Historic District
- ☐ Maple Heights Historic District
- ☐ Matlock Heights Historic District
- ☐ McDoel Historic District
- ☒ Near West Side Historic District
- ☐ Prospect Hill Historic District
- ☐ Restaurant Row Historic District
- ☐ Showers Brothers Furniture Factory Historic District
- ☐ University Courts Historic District
- ☐ Other: _____

RATING (City of Bloomington Survey of Historic Sites and Structures)

- ☐ Outstanding
- ☐ Notable
- ☒ Contributing
- ☐ Non-Contributing

APPLICANT INFORMATION:

Name: Simon Ladd Email: simonladd@att.net

Address: 3215. Lori Lane, Bloomington, IN 47401 Phone: 812-325-0333

PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner ☒

Name: _____ Email: _____

Address: _____ Phone: _____

PROPOSED WORK (Check all that Apply):

- ☐ New construction
 - ☐ Principal building
 - ☐ Accessory building or structure
 - ☐ Addition to existing building
- ☐ Demolition
 - ☐ Full Demolition
 - ☐ Partial Demolition
- ☐ Moving a building
- ☒ Alterations to the façade or exterior spaces of the property
 - ☒ Window replacement
 - ☐ Door replacement
 - ☐ Siding
 - ☐ Roof material
 - ☐ Foundation
 - ☐ Other façade element: _____
- ☐ New Signage
- ☐ Alterations to the yard
 - ☐ Alteration to fences, walls
 - ☐ Tree removal
- ☐ Other(s): _____

ADDITIONAL REQUIRED DOCUMENTS

- ☐ Written description of the nature of the proposal.
- ☐ Written description of all of the proposed materials to be used.
- ☐ Between 3 and 5 photographs of the historic site and/or structure before changes.
- ☐ Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- ☐ A map of the site with the site boundaries indicated.

CERTIFICATION

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant's Signature:  Date: 3-27-25

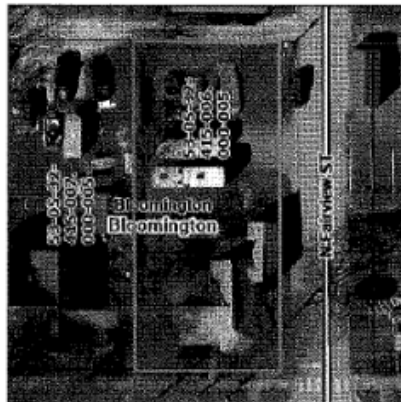


Skip to main content

Monroe County, IN



Map



No data available for the following modules: Sales Disclosures, Sales, Special Features, Commercial Buildings, Tax Deductions, Scanned PRC MH, Form 2.

All the data represented within this application is for public information services only. The data is updated as provided by the county. The data contained within this application should not be used for legal purposes. GIS DISCLAIMER: Monroe County does not warrant or guarantee the accuracy of the information contained herein and disclaims any and all liability resulting from any error or omission in this map. The lines and corners represented by GIS do not represent legal boundaries.

[User Privacy Policy](#) | [GDPR Privacy Notice](#)
Last Data Upload: 3/10/2025, 3:16:25 AM

Contact Us

Developed by
SCHNEIDER
GROUP SPATIAL





STAFF RECOMMENDATIONS	Address: 510 W Allen St (McDoel HD)
COA 25-22	Petitioner: Karen Ellis
Start Date: 3/27/2025	Parcel: 53-08-05-402-029.000-009
RATING: CONTRIBUTING	Slightly altered 1926 bungalow



Background:

The garage for which the alterations are proposed is a non-contributing building located in the rear of the lot. The east gable side with the garage door faces an alley beside Hoosier Heights climbing gym.

Request:

Second story addition on garage

1. Written description of the nature of the proposal.

a. Build second story living and work area on existing one-car garage, which was built ~1960, 30+ years after the house was built.

i. No change to existing garage footprint outside of exterior stairs to second story entrance.

1. Existing footprint: 14' x 22'

2. Exterior stair/landing footprint: 7.5' x 12'

ii. Foundation and existing structure: In consultation with Kevin Potter, structural engineer, Nov. 24, 2024, we will underpin the existing foundation with additional

concrete footings. We will also sheath the existing structure to address additional load.

iii. Exterior aluminum siding will be removed. Shingle roof will be removed.

iv. Bring gas and water to garage from house. Bury existing electric line from house to garage. Met with Duke Energy engineer in November 2024 to establish that no change needs to be made to power lines in the East-West alley behind the structure.

Discussed water/sewer tie in with Nancy Axsom of Bloomington Utilities March 27, 2025.

v. Structure interior will be finished as a studio to serve as additional living and work space for the home's occupants.

b. Establish gravel parking spot next to existing paved driveway

i. Prune dogwood tree inside backyard fence

ii. Move fence and fence gate profile to accommodate gravel parking spot

2. Written description of all proposed materials to be used.

a. Exterior

i. 4" lap fiber cement siding to match house's wood siding, restored in 2022;

ii. Boral composite trim to match house frieze boards, drip caps, window & door trim to match house;

iii. Architectural roof shingles to match house;

iv. Pella windows wood interior/clad exterior will be 1) double hung on south side to match house windows, and 2) casement on east- and west- facing sides to maximize light and air flow.

v. 2nd floor entry door: There were originally two doors on the front of the house—one entering the living room and the other entering the front bedroom. The latter was removed many years ago and placed in the basement. It is 3-panels on the bottom and 1 large window light on the top. I am planning to use it for the second floor entry of the garage.

vi. Construction lumber framing, trusses, sheathing. Treated lumber for exterior stairs and porch landing. Roxl-type insulation. Guard rail will be 37" high

vii. New garage door to replace existing (dented) door.

viii. Poured concrete footings.

b. Interior

i. Drywall. Wood trim. Latex paint.

ii. Wood or engineered flooring

iii. Bath fixtures (sink, toilet, shower)

iv. Kitchenette fixtures (sink) and appliances (icebox, range)

v. Split HVAC system

Guidelines: McDoel HD

II. Guidelines for Existing Buildings

This section is reviewed by staff

MATERIALS:

The neighborhood has seen many changes through the years and most of the houses have been sided and reroofed at least once in their lifetimes.

Preferred

If underlying original materials are in good condition, match with the same materials.

Acceptable

Use materials that will provide a similar look. This may include vinyl or aluminum or cement- board siding of comparable dimension. Match the house trim details.

ROOFS:

Most roofs in the neighborhood are shingled with asphalt or fiberglass. that determines the character of a house. The street has a distinctive look based upon a repeating pattern of roofs.

Preferred

Maintain the original materials or those used by contributing properties nearby.

Acceptable

Standing seam metal roofs are acceptable but should have non-reflective surfaces to avoid reflection on adjoining properties.

VI. Additions (New)

This section is reviewed by the Commission

The ability to expand on the lot is important to the changing needs of families and predicts the longevity of ownership in the neighborhood. In McDoel the modest sizes of the houses are valued, but the owners are encouraged to seek ways to adapt the property for current uses while maintaining footprints in keeping with the neighborhood.

Preferable

Additions should be scaled to the size of the existing house. The larger McDoel houses are roughly 1500 square feet on the first floor. Additions should be placed where visibility from the street is minimized. The roof slope should be compatible with the existing house and the peak should be equal in height or lower than the peak of the house gable. Windows should reflect the number, placement and pattern of windows on the house elevations. Materials should closely match those on the existing structure.

Acceptable

Additions should maintain the style and massing of contributing property in the area. Where no other expansion is possible and nearby contributing structures have second floors, a second floor addition may be considered. An addition should be scaled to the existing structure and integral to the design of the original structure.

VII. Non- Contributing Principle Structures and Additions

This section is reviewed by staff

Non-contributing principal structures are reviewed by staff for minor exterior changes. Additions to non-contributing structures and new accessory buildings are reviewed under the guidelines that pertain to contributing buildings. This is to maintain consistent size and massing generally of buildings that are added to the neighborhood.

ACCESSORY STRUCTURES/GARAGES:

Guiding principles

New structures accessory to contributing houses should be visually compatible with existing neighborhood patterns. Review of a new structure accessory to a non-contributing house is reviewed by staff

Definition of accessory structure

Accessory structures are permanent structures that are physically separate from the house and have a below- ground foundation. Examples of accessory structures are sheds (with below-ground foundations), and one and two-car garages. See examples of accessory feature NOT covered by these guidelines above, under "Guideline Application."

Definition of public ways

"Public ways" in the McDoel Gardens Neighborhood are: South Rogers St., South Madison St., West Wylie St., West Dodds St., West Dixie St., West Allen St., West Hillside St., South Fairview St., West Driscoll St., West Wilson St. and local alleys.

Placement on lot

Existing historic accessory structures are generally found within the back yard of the lot. To be compatible with this pattern, permanent new accessory structures should be placed within the back yard where feasible. Existing historic accessory structures placed in backyards are often visible from the public way; this is acceptable with new accessory structures as well.

Structure design

Permanent new accessory structures visible to public view, that is, seen from the defined public ways by casual passers-by, are encouraged to be visually compatible with existing structures. Garages are limited to a maximum two-car size. Roof lines that match the pitch of the main structure on the lot are encouraged.

Materials

There are no material restrictions for accessory structures within these guidelines.

1. GARAGES AND CARPORTS:**Preferable**

An added garage should be no larger than 25% of the size of the house and should be compatible with the design and materials.

A carport should be set back 1/3 or more from the front façade of the house.

Acceptable

A garage holding no more than two cars.

2. OUTBUILDINGS:**Preferable**

Outbuildings should be placed to the rear of the house where there is little visual access.

Acceptable

Storage buildings that meet zoning requirements and are smaller than 10x16' and not on a permanent foundation, are acceptable.

Staff recommends approval of COA 25-23

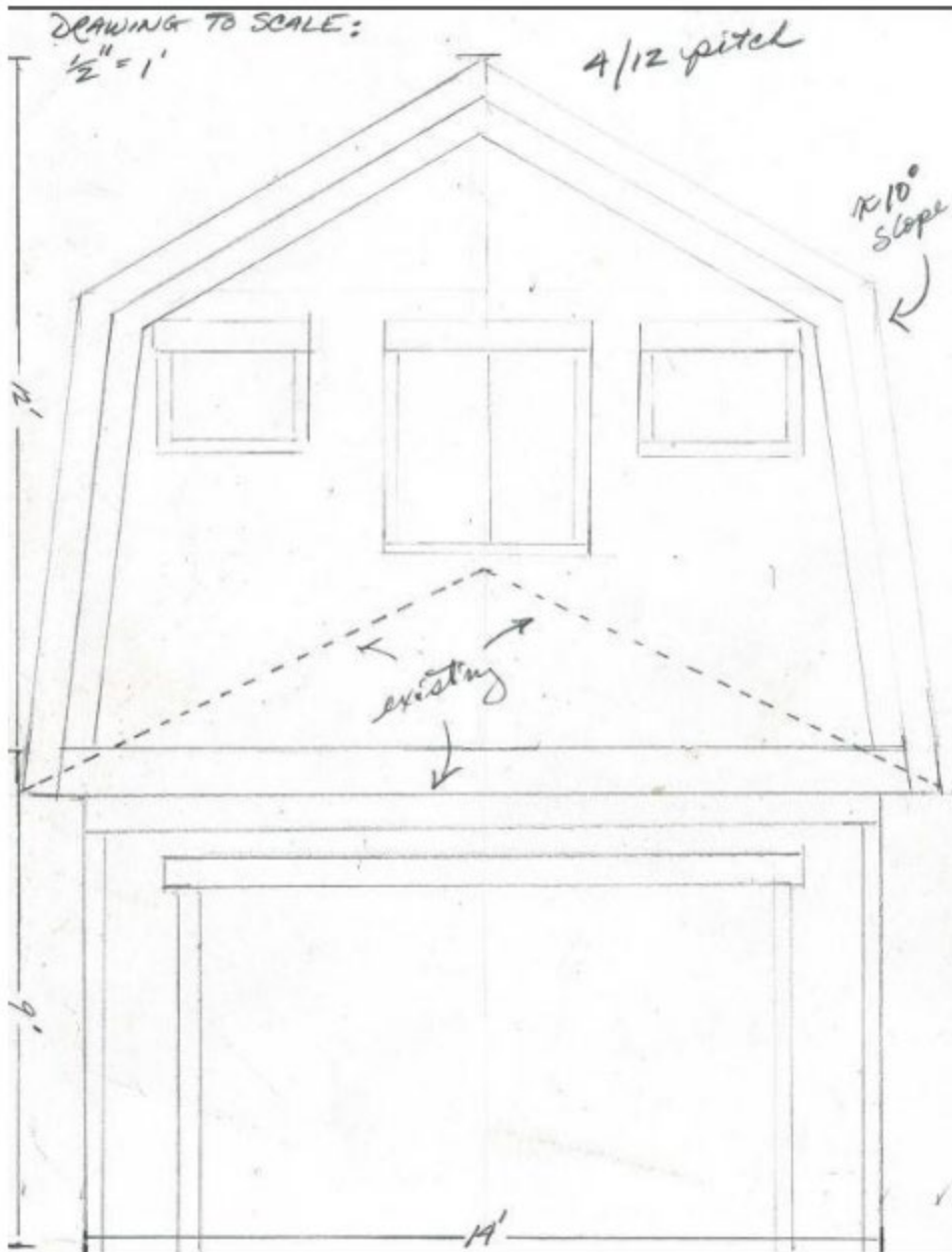
If the garage at 510 W Allen were built up to a height of 21' it would be minimally visible from the street and likely not visible from directly in front of the house, although it would be visible from the connecting alleyway.

Although district guidelines encourage that rooflines on accessory buildings match the pitch of the primary structure, here a gambrel roof may work to the design's advantage by lowering the visible profile of the new construction.

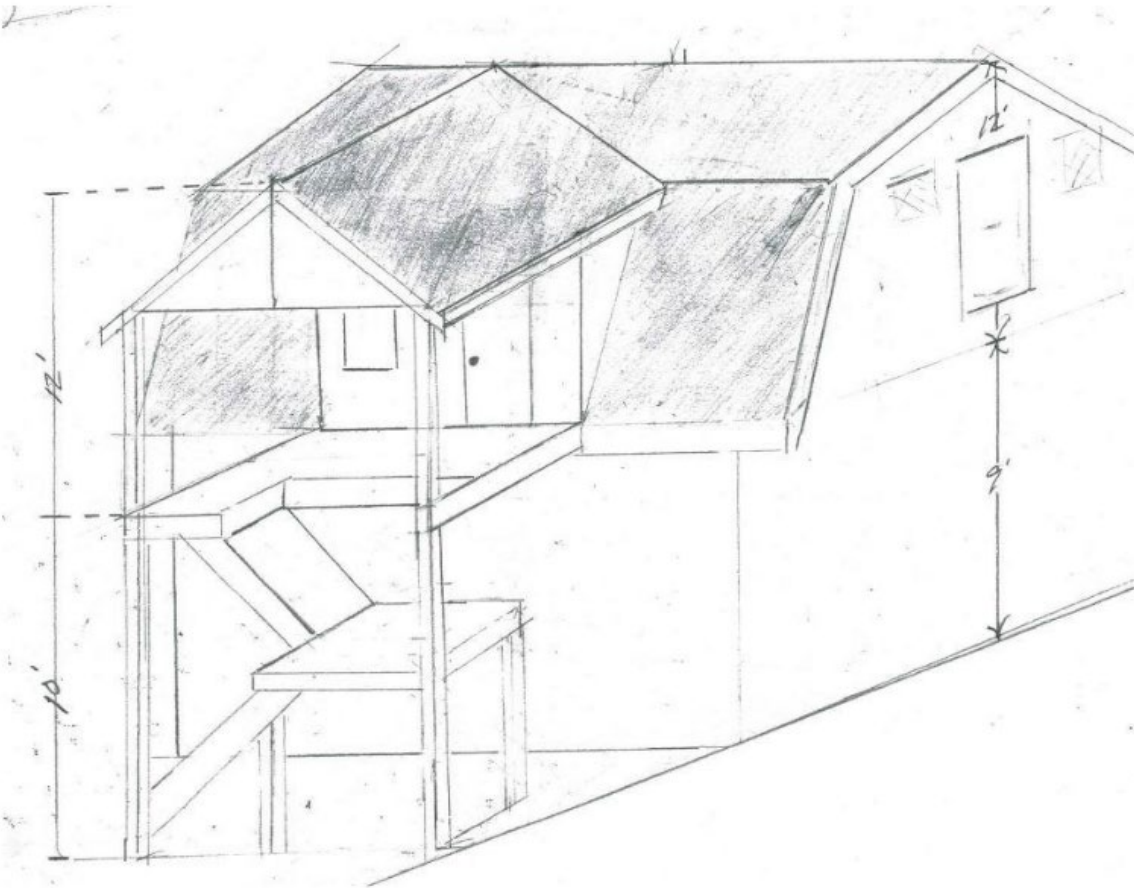
The McDoel District Guidelines encourage flexibility, and considering the limited scale and visibility of this project as well as efforts to relate the proposed new construction to the contributing primary structure in staff opinion this proposal should be reviewed flexibly.

While the written description and materials provided give a clear indication of exterior materials to be used, the elevation drawings may need some clarification of details that are not visually indicated. It should also be noted that planning and building code considerations including side setbacks and fire code may necessitate easements or revisions to this plan. Revisions would have to return to the Commission for amendments to an approved plan.





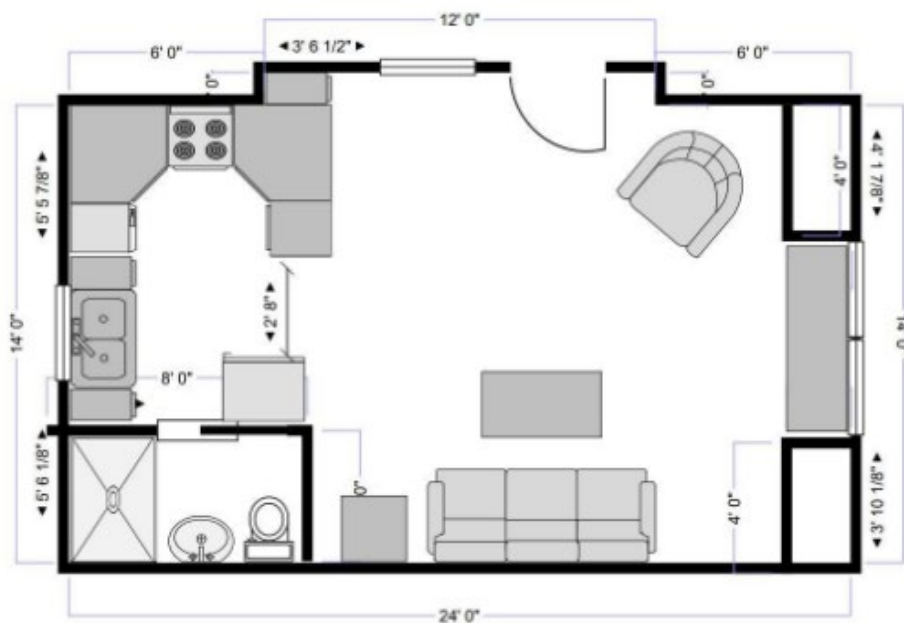
- b. Elevation of the South-facing (house-facing) façade. Stair + handrails are 40" per flight; total width of the landing is 12'.



- b. This photo shows a scaled model built to show the altered structure. Note that there will be railings on the stairs and landing.



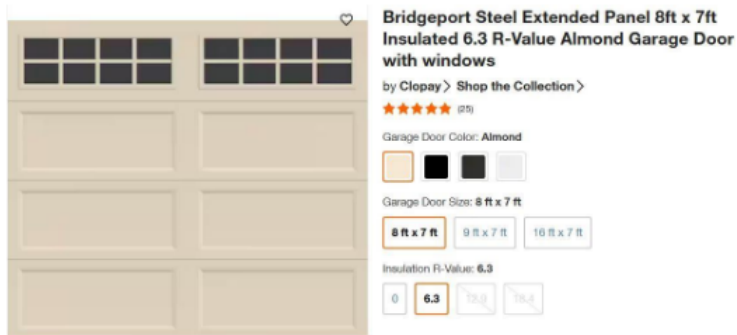
- c. Second floor draft layout showing window and door placements.



- d. This photo shows a nearby residence at 1009 S. Madison Street with Gambrel roof. Metal roofs at 1108 S. Madison and 1008 S. Rogers are examples of metal roofing in neighborhood.



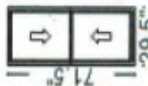
- e. Garage door replacement: will be insulated steel door, color matching the trim of the house and garage. With or without lights—I have not decided if I want windows on the ground floor facing alley. Panel style is similar to the entry doors.





Proposed style of step railing

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
15	Porch/Main	Lifestyle, Double Hung, 29.5 X 71.5, Without HGP, Brick Red	\$798.60	3	\$2,395.80

PK #
2182

Viewed From Exterior

1: 29.571.5 Double Hung, Equal
Frame Size: 29 1/2 X 71 1/2
Unit Type: No Program
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray
Exterior Color / Finish: Standard Enduraclad, Brick Red
Interior Color / Finish: Bright White Paint Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor
Screen: Full Screen, Brick Red, InView™
Performance Information: U-Factor 0.30, SHGC 0.30, VLT 0.57, CPD PEL-N-35-00514-00001, Performance Class LC, PG 30, Calculated Positive DP Rating 30, Calculated Negative DP Rating 30, STC 27, OITC 23, Clear Opening Width 26.312, Clear Opening Height 32.5, Clear Opening Area 5.938472, Egress Meets minimum clear opening and 5.7 sq.ft
Grille: No Grille,
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Manufacturer Recommended Clearance, Perimeter Length = 202".

Rough Opening: 30 - 1/4" X 72 - 1/4"

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
20	Bathroom/Kitchen	Lifestyle, Awning, Vent, 29 X 17, Without HGP, Brick Red	\$528.14	2	\$1,056.28

PK #
2182

Viewed From Exterior

1: 2917 Vent Awning
Frame Size: 29 X 17
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Standard Enduraclad, Brick Red
Interior Color / Finish: Bright White Paint Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Large Awning Hardware, Fold-Away Crank, White, No Limited Opening Hardware, No Integrated Sensor, Sill
Screen: Full Screen, Bright White, InView™
Performance Information: U-Factor 0.29, SHGC 0.27, VLT 0.51, CPD PEL-N-37-00714-00001, Performance Class LC, PG 30, Calculated Positive DP Rating 30, Calculated Negative DP Rating 30, STC 25, OITC 22, Egress Not Applicable
Grille: No Grille,
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Manufacturer Recommended Clearance, Perimeter Length = 92".

Rough Opening: 29 - 3/4" X 17 - 3/4"

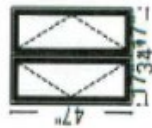
Customer: Golden Hands Const.

Project Name: Ellis - Impervia

Order Number: 120

Quote Number: 19033692

Line # 10
Location: Kitchen



PK #
2182

Attributes

Lifestyle, 2-Wide Casement, 34 X 47, Without HGP, Brick Red

1: 1747 Left Casement
Frame Size: 17 X 47

Unit Type: No Program

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16"

Exterior Color / Finish: Standard Enduraclad, Brick Red

Interior Color / Finish: Bright White Paint Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, No Window Opening Control Device, No Limited Opening Hardware, No Integrated Sensor

Screen: Full Screen, Bright White, InView™

Performance Information: U-Factor 0.29, SHGC 0.27, VLT 0.51, CPD PEL-N-14-00677-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, STC 25, OITC 22, Clear Opening Width 7.25, Clear Opening Height 42.875, Clear Opening Area 2.158637, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: No Grille

2: 1747 Right Casement

Frame Size: 17 X 47

Unit Type: No Program

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16"

Exterior Color / Finish: Standard Enduraclad, Brick Red

Interior Color / Finish: Bright White Paint Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, No Window Opening Control Device, No Limited Opening Hardware, No Integrated Sensor

Screen: Full Screen, Bright White, InView™

Performance Information: U-Factor 0.29, SHGC 0.27, VLT 0.51, CPD PEL-N-14-00677-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, STC 25, OITC 22, Clear Opening Width 7.25, Clear Opening Height 42.875, Clear Opening Area 2.158637, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: No Grille

Vertical Mull 1: Factory Mull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical

Wrapping Information: Foldout Fins, Factory Applied, No Head Drip Cap, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Manufacturer Recommended Clearance, Perimeter Length = 162"

Rough Opening: 34 - 3/4" X 47 - 3/4"



STAFF RECOMMENDATIONS	Address: 720 S High St
DD 25-07	Petitioner: Leo Pilachowski
Start Date: 3/24/2025	Parcel: 53-01-50-086-000.000-009
RATING: NOTABLE	Garage/workshop



Background: 720 S High St is a 1930 two-story front-dormer brick bungalow with limestone architectural features, listed as Notable on the Indiana Historic Sites and Structures inventory for its high degree of integrity. Behind the house parallel to E 1st St is a 864 sq ft wood frame garage and workshop with a set of doors running half its length along the eave side. The building has been added to several times including a small addition on the west end and a shed-roof office addition on the north side facing away from the street. The garage retains many of its historic materials including windows, doors, and interior mechanical equipment. There are also structural issues including a cracked slab foundation and decay resulting from neglect. The date of the garage's construction is uncertain but is likely contemporaneous with the house, which was built by stone carver Henry J.B. Andrews.

Andrews served as a military engineer in WWI, suffering serious injuries. After returning to the US he married his wife, Edna, and worked for a local quarry. In the 1930s Andrews went into private practice, running Bloomington Monument Works out of his garage (pictured). Andrews served as Grandmaster at a local masonic lodge. His

practice passed on to his son, Charles, in 1977. Charles Andrews also lived in this house and worked out of the garage until 1987. For most of this period, Bloomington Monument Works was one of Bloomington's primary monument dealers. The property remained in the hands of the Andrews family until 2024.

Request: Full demolition

Guidelines: According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review.

Staff Recommendation: Staff Recommends release of DD 25-07.

Both the garage and house at 720 S High St have architectural significance and social significance for Bloomington's limestone industry. It is unfortunate that the garage and workshop has not found new use since Bloomington Monument Works vacated the building. The building likely can be restored, though substantial work would be required for nearly every part of the building. Without the garage, the house would still be a notable property although this building certainly contributes to its architectural and social context.



